



Sample Report - Practical Completion Inspection

Inspection Date: 2 Jul 2026

Property Address: Sample Report



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If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

Inspection Details

Property Address: Sample Report

Date: 2 Jul 2026

Client

Name: Sample Report

Email Address:

Phone Number:

Consultant

Name: Mario Trifiro

Email Address: Admin@ipinorwest.net.au

Licence / Registration Number: 97879C

Company Name: Independent Property Inspections Norwest

Company Address: PO Box 4244 Pitt Town NSW 2756

Company Phone Number: 1800 474 667 - 1800 IPI Norwest

General description of property

Building Type:	Detached house
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Storeys:	Two storey
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Siting of the building:	Towards the front of a small block
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Gradient:	The land is relatively flat
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Site drainage:	The site appears to be poorly drained
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Orientation of the property:	The facade of the building faces east Note. For the purpose of this report the façade of the building contains the main entrance door.
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Weather conditions:	Dry
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Primary method of construction

Main building – floor construction:	Slab on ground
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Main building – wall construction:	Cavity brick, Brick veneer (timber framed)
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Main building – roof construction:	Timber framed
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Special conditions or instructions

Special requirements, requests or instructions given by the client or the client's representative -

There are no special conditions or instructions

Accessibility

Areas Inspected

The inspection covered the Readily Accessible Areas of the property. Please note obstructions and limitations to accessible areas for inspection are to be expected in any inspection.

- Building interior
- Building exterior
- Roof exterior
- Roof space

The inspection does not include areas which are inaccessible due to obstructions, or where access cannot be gained due to unsafe conditions.

Obstructions and Limitations

The following obstructions may conceal defects:

- Thermal insulation
- Stored articles in wardrobes
- Stored articles in cupboards
- Stored articles
- Packing boxes
- Furniture

Obstructions increase the risk of undetected defects, please see the overall risk rating for undetected defects.

Inaccessible Areas

The following areas were inaccessible:

- Areas of low roof pitch
- Garage
- Lower roof

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently.

Findings Summary

The summary below is used to give a brief overview of observations made in each inspection area. The summary is NEVER to be relied upon as a comprehensive report and the client MUST read the entire report and not rely solely on this summary.

Incomplete

Piano Room And Entry	Incomplete painting
Piano Room And Entry	Electronic lock not working
Piano Room And Entry	Window/door glass to be cleaned
Piano Room And Entry	Weather/draft seal
Piano Room And Entry	Excessive gap to the timber screen and wall junction
Piano Room And Entry	Timber screen alignment
Piano Room And Entry	Wall patching is required
Piano Room And Entry	Paint touchups required
Piano Room And Entry	Popped nail to the wall/ceiling
Piano Room And Entry	Air-conditioner vent is not sitting tight to the plaster board
Piano Room And Entry	Hanging rod is missing
Piano Room And Entry	Flooring to be cleaned
Piano Room And Entry	Underside of the architrave to be sealed
Piano Room And Entry	Window is binding
Piano Room And Entry	Cabinet edge not aligned
Piano Room And Entry	Missing screw head sticker
Piano Room And Entry	Cabinet surfaces to be cleaned
Piano Room And Entry	Cabinet doors need adjusting
Piano Room And Entry	Drummy tile

Garage	Chipped concrete
Garage	Door lock
Garage	Garage door to be adjusted
Kitchen	Benchtop surface and edge to be cleaned
Kitchen	Missing kicker and filler piece to the dishwasher
Kitchen	Cabinet alignment is required
Kitchen	Missing cover to the range hood ducting
Kitchen	Binding/rubbing doors/drawers
Kitchen	Incomplete silicone to the underside of the bench
Kitchen	Binding hose to the tap
Kitchen	Incomplete silicone to the underside of the bench
Kitchen	Cabinet surfaces to be cleaned
Kitchen	Cabinet alignment is required
Kitchen	Loose tap
Laundry	Missing screw head sticker
Laundry	Incomplete silicon to the cabinet
Laundry	Incomplete silicone to the underside of the bench
Laundry	Cabinet alignment is required
Laundry	Loose tap
Laundry	Wall patching is required
Laundry	Floor waste
Laundry	Paint touchups required
Laundry	Incomplete silicon to the cupboard

Laundry	Missing screw head sticker
Laundry	Weather/draft seal
WC Lower	Damaged door
WC Lower	Shower screen door is not sitting tight
WC Lower	Tile surface to be cleaned
WC Lower	Paint touchups required
WC Lower	Sharp corners to the niche
WC Lower	Shower rose is loose
WC Lower	Loose basin
WC Lower	Loose toilet system
WC Lower	Weather/draft seal
WC Lower	Sharp corner to the metal angle
WC Lower	Damaged door jam
WC Lower	Incomplete silicon/grout to the floor
WC Lower	Door hinge
WC Lower	Damaged door
Rumpus	Door handle will need replacing as it is unable to be easily opened
Rumpus	Damaged door
Rumpus	Paint touchups required
Rumpus	Underside of the architrave to be sealed
Rumpus	Window/door frame to be cleaned
Rumpus	Window lock is loose
Rumpus	Window frame is missing silicon

Dining room	Underside of the architrave to be sealed
Dining room	Window frame is missing silicon
Dining room	Window/door frame to be cleaned
Dining room	Paint touchups required
Dining room	Door frame is missing silicon
Dining room	Damaged door frame
Dining room	Poorly finished silicone
Alfresco	Skirting tile
Alfresco	Loose tap
Alfresco	Missing or incomplete storm mould to the door/window frame
Alfresco	Ceiling patches required
Alfresco	Joint patching to the wall/ceiling is required
Media	Window is binding
Media	Popped nail to the wall/ceiling
Media	Pelmet to doors
Media	Paint touchups required
Bedroom 1	Door to be installed
Bedroom 1	Robe surfaces to be cleaned
Bedroom 1	Window is binding
Bedroom 1	Underside of the architrave to be sealed
Lower Powder Room	Damaged door jam
Lower Powder Room	Door handle will need replacing as it is unable to be easily opened
Lower Powder Room	Cabinet doors are binding

Lower Powder Room	Basin
Lower Powder Room	Slow draining basin
Lower Powder Room	Tile surface to be cleaned
Lower Powder Room	Sharp corner to the metal angle
Lower Powder Room	Exhaust fan
Bedroom 5	Damaged door
Bathroom	Shower screen door is not sitting tight
Bathroom	Sharp corners to the niche
Bathroom	Underside of the vanity benchtop to be sealed
Bathroom	Basin
Bathroom	Towel rail is loose
Bathroom	Leaking screen
Bathroom	Exhaust fan
Bedroom 4	Window is binding
Bedroom 4	Underside of the architrave to be sealed
Bedroom 4	Damaged reveal
Bedroom 4	Incomplete silicone to the end of the skirting
Bedroom 4	Mirror surface to be cleaned
Bedroom 4	Damaged cabinet edge
Bedroom 4	Paint touchups required
Leisure	Paint touchups required
Leisure	Incomplete silicon to the cabinet
Leisure	Benchtop has a damaged joint

Leisure	Missing screw head sticker
Leisure	Cabinet doors are binding
Leisure	Damaged door frame
Leisure	Window/door frame to be cleaned
Leisure	Missing or incomplete silicon to the door/window frame
Leisure	Architrave joint is poorly finished
Leisure	Ceiling patches required
Leisure	Incomplete silicon/grout to the skirting tiles
Bedroom 2	Window/door glass to be cleaned
Bedroom 2	Window is binding
Bedroom 2	Rubber seal to window
Bedroom 2	Architrave/moulding to the door/window is bowed
Bedroom 3 Including Bathroom	Window is binding
Bedroom 3 Including Bathroom	Paint touchups required
Bedroom 3 Including Bathroom	Damaged door
Bedroom 3 Including Bathroom	Loose flange to the shower rose
Bedroom 3 Including Bathroom	Sharp corners to the niche
Bedroom 3 Including Bathroom	Shower screen door is not sitting tight
Bedroom 3 Including Bathroom	Missing shelf
Bedroom 3 Including Bathroom	Basin
Bedroom 3 Including Bathroom	Slow draining basin
Bedroom 3 Including Bathroom	Loose tap
Bedroom 3 Including Bathroom	Loose bath

Bedroom 3 Including Bathroom	Sharp corners to the niche
Bedroom 3 Including Bathroom	Damaged grout/silicon
Bedroom 3 Including Bathroom	Sharp corner to the angles
Bedroom 3 Including Bathroom	Window/door glass to be cleaned
Bedroom 3 Including Bathroom	Missing flange to the tap
Bedroom 3 Including Bathroom	Floor waste
Bedroom 3 Including Bathroom	Hanging rod is missing
Bedroom 3 Including Bathroom	Cabinet alignment is required
Bedroom 3 Including Bathroom	Damaged door
Master bedroom	Paint touchups required
Master bedroom	Poorly finished quad
Master bedroom	Incomplete silicon to the cabinet
Master bedroom	Paint touchups required
Ensuite	Paint touchups required
Ensuite	Toilet roll holder is loose
Ensuite	Loose tap
Ensuite	Loose basin
Ensuite	Slow draining basin
Stairwell	Incomplete painting to the treads and rises
Stairwell	Paint touchups required
Stairwell	Window/door glass to be cleaned
Stairwell	Window frame is missing silicon
Stairwell	Wall patching is required

Stairwell	Flooring has a squeak
Stairwell	Poorly fitted floor corner angle
Stairwell	Poorly fitted floor corner angle
Stairwell	Wall cracking
Stairwell	Air conditioner not tested
Roof exterior	Roof cladding to be cleaned
All External Areas	Missing recycling water meter
All External Areas	Damaged render
All External Areas	Capping is not sitting tight to the structure
All External Areas	Loose moulding
All External Areas	Loose cladding joint
All External Areas	Missing or incomplete silicon to the moulding
All External Areas	Pipe penetration
All External Areas	Gas meter
All External Areas	Hot Water System cover
All External Areas	Solar panels and battery
All External Areas	Cleaning required to the fence
All External Areas	Pit/grate lid is missing
All External Areas	DPC to be trimmed
All External Areas	Pit/grate lid is missing
All External Areas	Damaged window flashing
All External Areas	Air conditioner not tested
All External Areas	Brick surface

All External Areas	Damaged capping/flushing
All External Areas	Loose cladding joint
All External Areas	DPC to be trimmed
All External Areas	Capping is not sitting tight to the structure
All External Areas	Screw head surface to be cleaned
All External Areas	Loose cladding joint
All External Areas	Damaged/incomplete cladding
All External Areas	Missing or incomplete silicon to the end of the cladding
All External Areas	Render is incomplete
All External Areas	Pit/grate lid is missing
All External Areas	Paint touchups required
All External Areas	Incomplete landscaping
All External Areas	Fibro eaves

Summary

SUMMARY INFORMATION: The summary below is used to give a brief overview of observations made in each inspection area. The items listed in the summary are noted in detail under the applicable sub headings within the body of the report. The summary is NEVER to be relied upon as a comprehensive report and the client MUST read the entire report and not rely solely on this summary. If there is a discrepancy between the information provided in this summary and that contained within the body of the Report, the information in the body of the Report shall override this summary. (See definitions & information below the summary to help understand the report)

Evidence of safety hazards	Not Found
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Evidence of non compliant works	Not Found
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Evidence of substandard workmanship	Not Found
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Evidence of incomplete works	Found
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Additional specialist inspections

The following inspections / reports are recommended

- Electrician
- Plumber
- Termite inspection

Significant Items

Safety Hazard

No evidence was found

Non Compliant

No evidence was found

Substandard Workmanship

No evidence was found

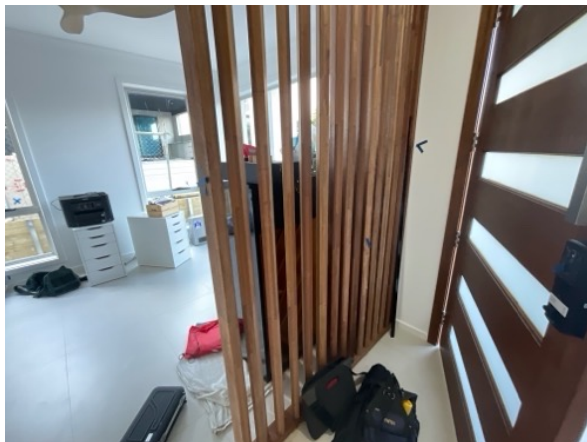
Incomplete

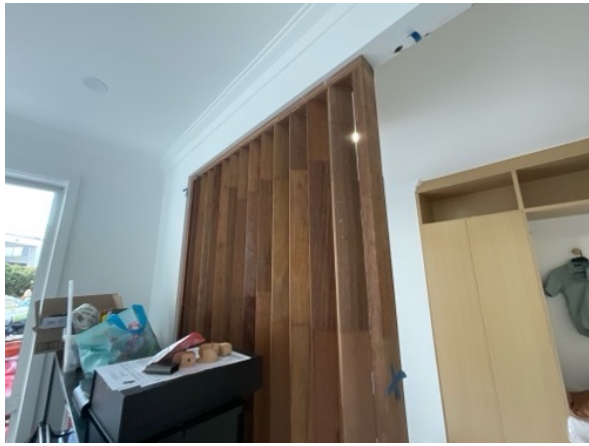
Incomplete 1.01

Location: Piano Room And Entry

Finding: Incomplete painting

It was observed that the painting on the feature wall in the Piano Room and Entry is incomplete. Sections of the wall exhibit uneven paint coverage, with visible patches where the underlying surface is exposed, detracting from the intended aesthetic of these areas. This inconsistency in the finish not only affects the overall appearance but may also compromise the durability of the wall surface over time. It is recommended that the painting be completed to ensure a uniform and visually appealing finish consistent with the rest of the interior design.





Incomplete 1.02

Location: Piano Room And Entry

Finding: Electronic lock not working

It was observed that the electronic lock systems located to the entry is malfunctioning. The lock exhibit intermittent failures in responding to authorized access codes, causing undue inconvenience and potential security vulnerabilities. Moreover, the touchscreen interface occasionally freezes, requiring multiple attempts to regain functionality. This inconsistency not only compromises ease of access but also raises concerns regarding the reliability and effectiveness of the locking mechanism as a whole. Immediate attention and rectification are recommended to ensure secure and seamless operation.

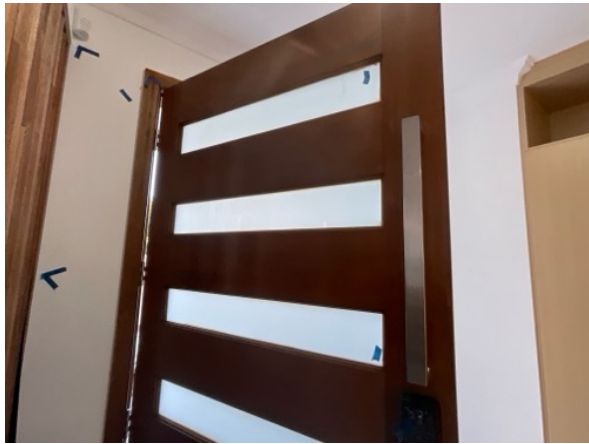


Incomplete 1.03

Location: Piano Room And Entry

Finding: Window/door glass to be cleaned

Glass to be cleaned to ensure there is no damage



Incomplete 1.04

Location: Piano Room And Entry

Finding: Weather/draft seal

Weather seal and/or draft seals are missing or inadequate and will need to be repaired or restored to ensure the integrity and water tightness of the door

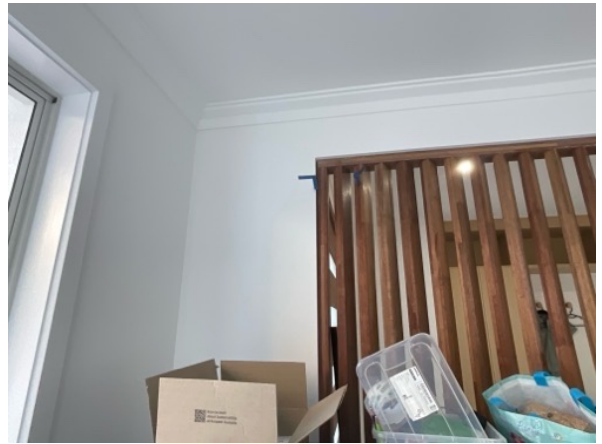


Incomplete 1.05

Location: Piano Room And Entry

Finding: Excessive gap to the timber screen and wall junction

There is an excessive gap between the timber screen and the adjacent wall, which requires sealing.

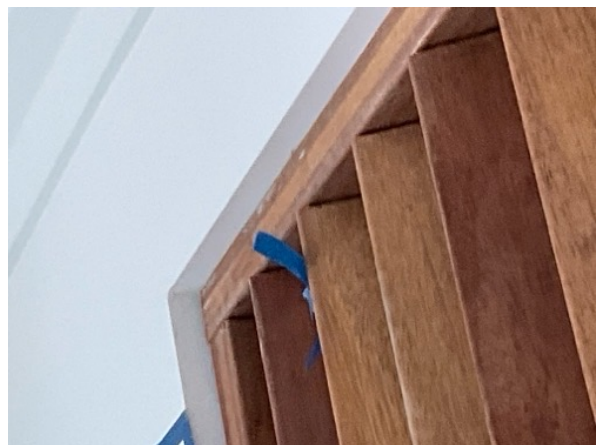
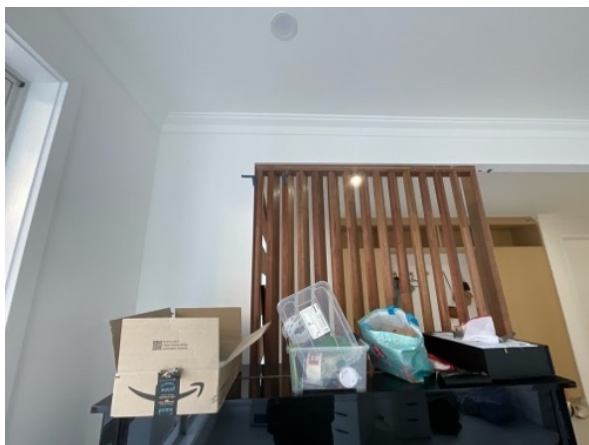


Incomplete 1.06

Location: Piano Room And Entry

Finding: Timber screen alignment

The timber slats on the privacy screen do not align properly with the top of the slats and the top plate, resulting in a misalignment that affects the overall aesthetic.



Incomplete 1.07

Location: Piano Room And Entry

Finding: Wall patching is required

Patches are incomplete and will need finishing to a good standard

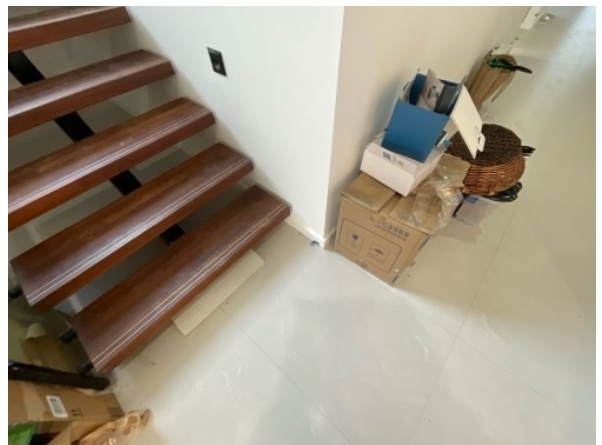
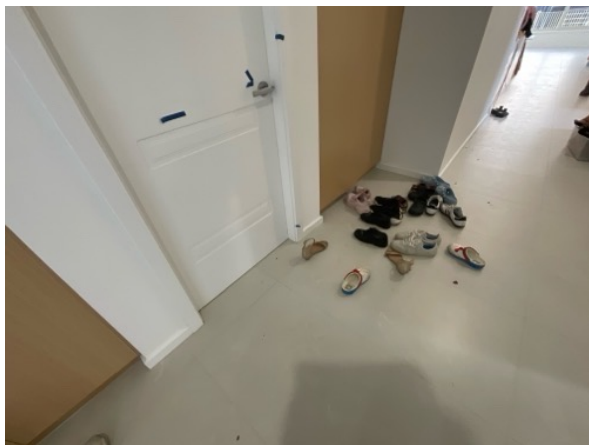
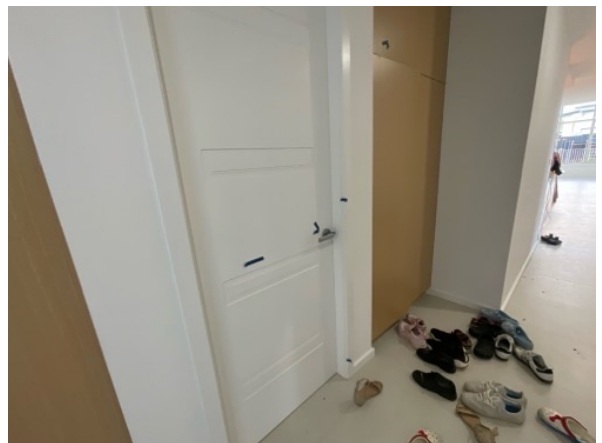


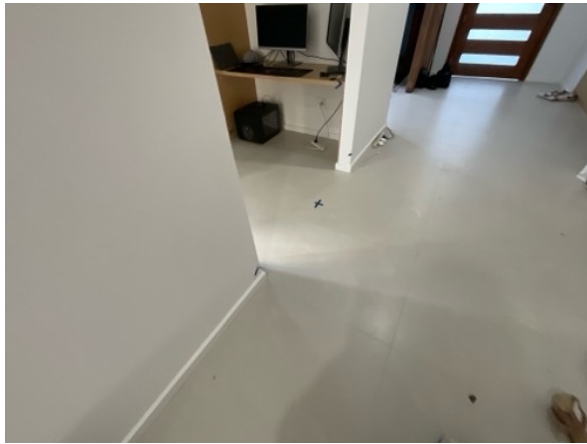
Incomplete 1.08

Location: Piano Room And Entry

Finding: Paint touchups required

Minor paint touchups required as tagged on site to restore appearance





Incomplete 1.09

Location: Piano Room And Entry

Finding: Popped nail to the wall/ceiling

Popped nail heads to the wall/ceiling to be repaired to restore appearance



Incomplete 1.10

Location: Piano Room And Entry

Finding: Air-conditioner vent is not sitting tight to the plaster board

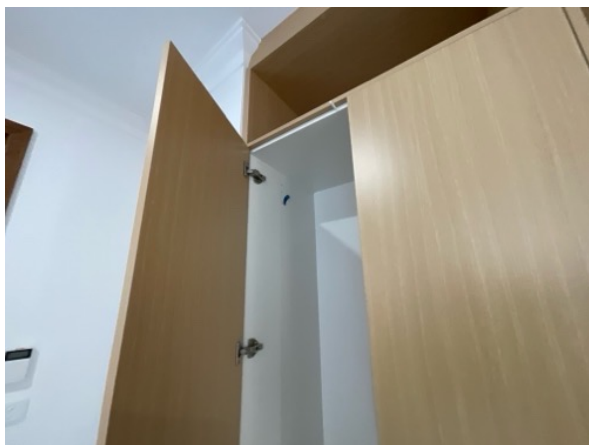
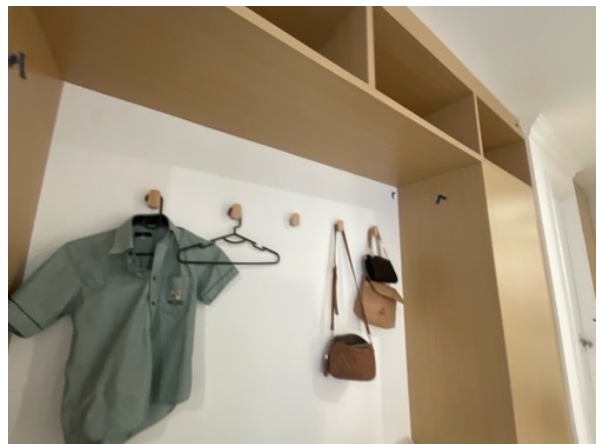
The air-conditioner vent is observed to not sit flush against the plasterboard, leading to potential inefficiencies and aesthetic concerns. It is recommended to refit or realign the vent to

ensure a secure and tight installation.



Incomplete 1.11

Location: Piano Room And Entry
Finding: Hanging rod is missing
Hanging rod to be installed



Incomplete 1.12

Location: Piano Room And Entry

Finding: Flooring to be cleaned
Flooring to be cleaned to ensure no damaged has occurred.



Incomplete 1.13

Location: Piano Room And Entry
Finding: Underside of the architrave to be sealed
Underside of the window architraves to be sealed



Incomplete 1.14

Location: Piano Room And Entry
Finding: Window is binding
The window is currently binding and will need adjustment and servicing. To resolve this defect, it is recommended that a window servicing is carried out to restore smooth operation of the openable portion of the window.

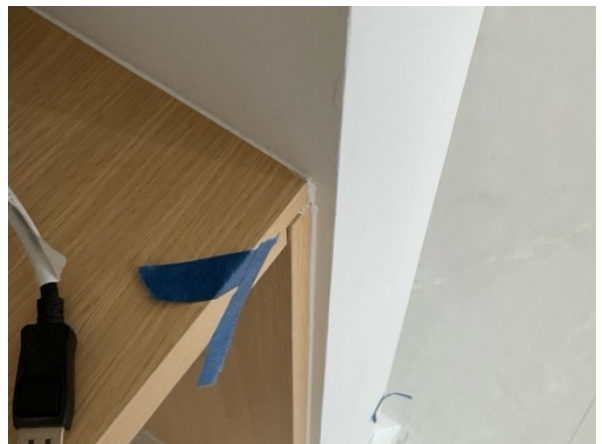


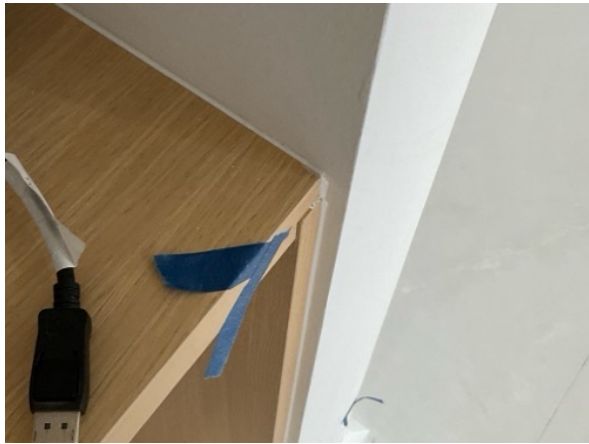
Incomplete 1.15

Location: Piano Room And Entry

Finding: Cabinet edge not aligned

Missing cabinet edge not aligned and will need to be repositioned to restore appearance





Incomplete 1.16

Location: Piano Room And Entry
Finding: Missing screw head sticker
Missing screw head sticker cover to be installed



Incomplete 1.17

Location: Piano Room And Entry
Finding: Cabinet surfaces to be cleaned
Surfaces to be cleaned to ensure no damage



Incomplete 1.18

Location: Piano Room And Entry

Finding: Cabinet doors need adjusting

Cabinet doors require adjustment, as they are not functioning correctly. It is recommended that the cabinet doors be realigned and adjusted to ensure smooth operation.



Incomplete 1.19

Location: Piano Room And Entry

Finding: Drummy tile

Drummy tiles in several locations, which indicate insufficient adhesion to the substrate. This defect can lead to potential cracking or dislodgement over time and affects the overall structural integrity of the flooring. Immediate assessment and rectification by a qualified professional are recommended to prevent further deterioration and ensure the safety and longevity of the tiled surface.



Incomplete 1.20

Location: Garage

Finding: Chipped concrete

Damaged concrete to be repaired to restore appearance

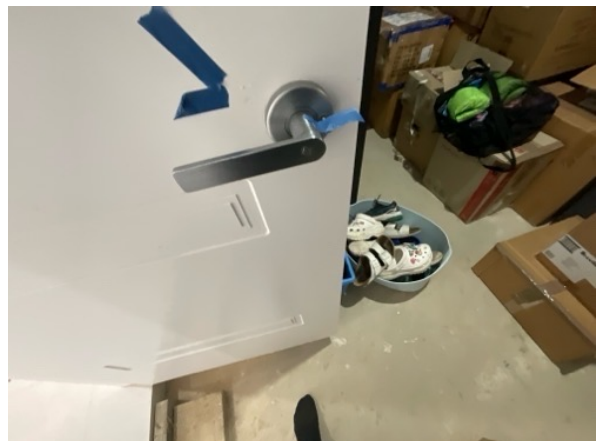


Incomplete 1.21

Location: Garage

Finding: Door lock

Door lock will need to be repaired



Incomplete 1.22

Location: Garage

Finding: Garage door to be adjusted

Garage door to be adjusted to ensure the seal to the concrete is tight and not allow any water into the garage

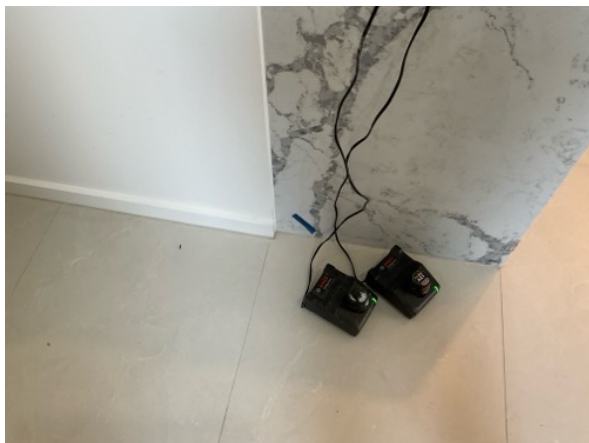


Incomplete 1.23

Location: Kitchen

Finding: Benchtop surface and edge to be cleaned

The benchtop surface and edges are required to be cleaned to ensure there is no damage or imperfections to the surface, If necessary, minor repairs should be conducted to restore appearance.



Incomplete 1.24

Location: Kitchen

Finding: Missing kicker and filler piece to the dishwasher

It was noted that the dishwasher in the kitchen is missing its kicker panel filler piece to both the top and bottom sections. This absence detracts from the overall appearance and finish of the appliance, leaving the installation looking incomplete.



Incomplete 1.25

Location: Kitchen

Finding: Cabinet alignment is required
Cabinets are not sitting even with each other and will need to be repositioned



Incomplete 1.26

Location: Kitchen

Finding: Missing cover to the range hood ducting
The kitchen is missing a cover to the range hood ducting, impacting the overall aesthetic of the cabinetry. This defect should be rectified by installing the appropriate covering to restore the

intended appearance.



Incomplete 1.27

Location: Kitchen

Finding: Binding/rubbing doors/drawers

Binding/rubbing doors/drawers to be eased to restore functionality.



Incomplete 1.28

Location: Kitchen

Finding: Incomplete silicone to the underside of the bench

Incomplete silicone to the under side of the bench



Incomplete 1.29

Location: Kitchen

Finding: Binding hose to the tap
Binding hose to the tap to be repaired to restore use



Incomplete 1.30

Location: Kitchen

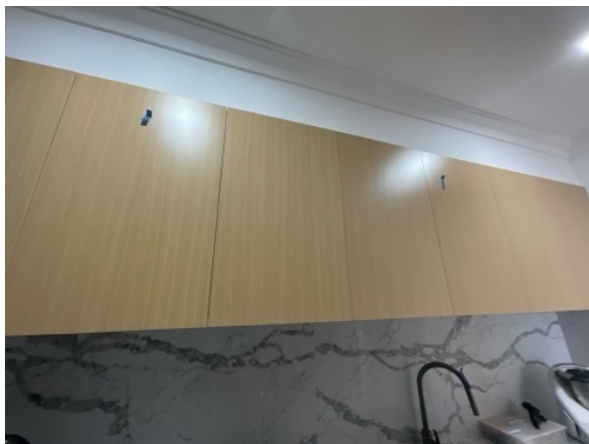
Finding: Incomplete silicone to the underside of the bench
Incomplete silicone to the under side of the bench



Incomplete 1.31

Location: Kitchen

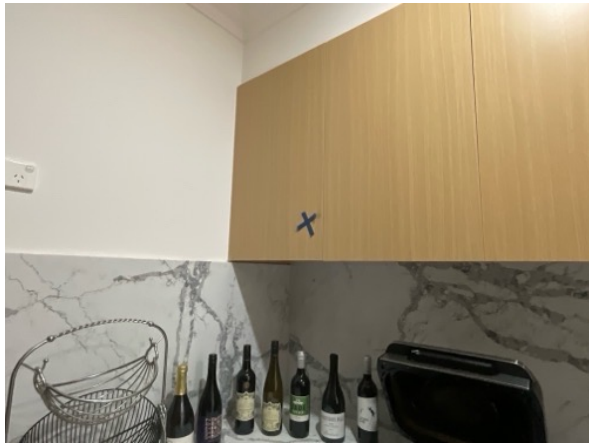
Finding: Cabinet surfaces to be cleaned
Surfaces to be cleaned to ensure no damage



Incomplete 1.32

Location: Kitchen

Finding: Cabinet alignment is required
Cabinets are not sitting even with each other and will need to be repositioned



Incomplete 1.33

Location: Kitchen
Finding: Loose tap
Loose tap to be secured



Incomplete 1.34

Location: Laundry
Finding: Missing screw head sticker
Missing screw head sticker cover to be installed



Incomplete 1.35

Location: Laundry

Finding: Incomplete silicon to the cabinet
Incomplete silicon to the cabinet and wall junction



Incomplete 1.36

Location: Laundry

Finding: Incomplete silicone to the underside of the bench
Incomplete silicone to the under side of the bench



Incomplete 1.37

Location: Laundry

Finding: Cabinet alignment is required

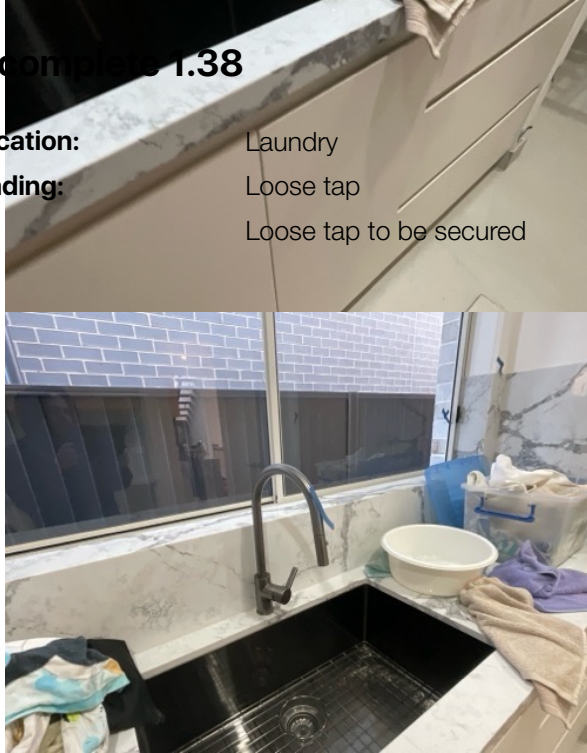
Cabinets are not sitting even with each other and will need to be repositioned

Incomplete 1.38

Location: Laundry

Finding: Loose tap

Loose tap to be secured



Incomplete 1.39

Location: Laundry

Finding: Incomplete silicone to the top of the skirting

Incomplete silicone to the top of the skirting will need completion to restore appearance.





Incomplete 1.40

Location: Laundry

Finding: Wall patching is required

Patches are incomplete and will need finishing to a good standard



Incomplete 1.41

Location: Laundry

Finding: Floor waste

Floor waste to be cleaned



Incomplete 1.42

Location: Laundry

Finding: Paint touchups required

Minor paint touchups required as tagged on site to restore appearance

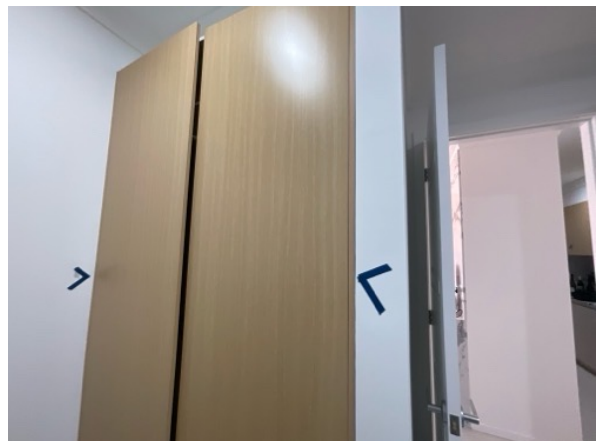
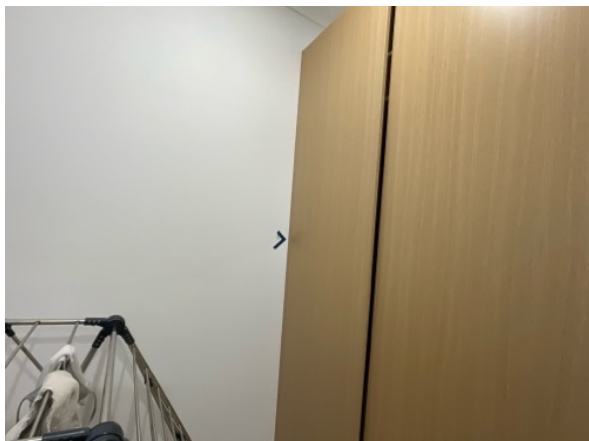


Incomplete 1.43

Location: Laundry

Finding: Incomplete silicon to the cupboard

Incomplete silicon to the cupboard and wall junction



Incomplete 1.44

Location: Laundry

Finding: Missing screw head sticker
Missing screw head sticker cover to be installed



Incomplete 1.45

Location: Laundry

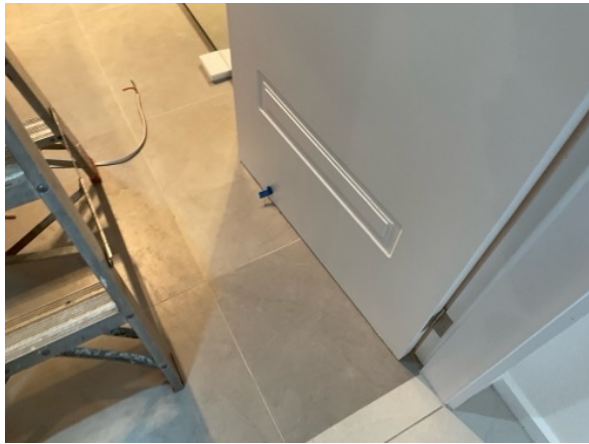
Finding: Weather/draft seal
Weather seal and/or draft seals are missing or inadequate and will need to be repaired or restored to ensure the integrity and water tightness of the door



Incomplete 1.46

Location: WC Lower

Finding: Damaged door
Damaged edge needs repair to restore appearance



Incomplete 1.47

Location: WC Lower

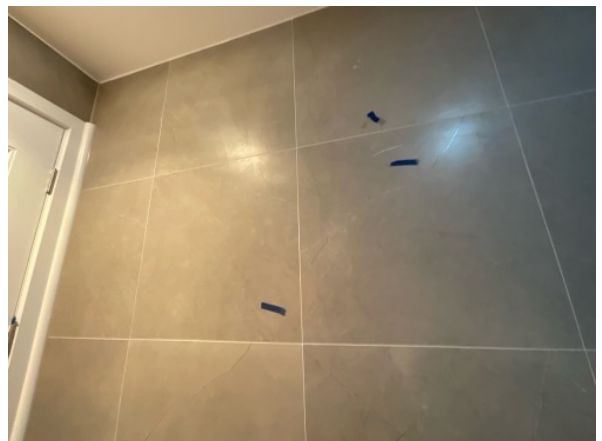
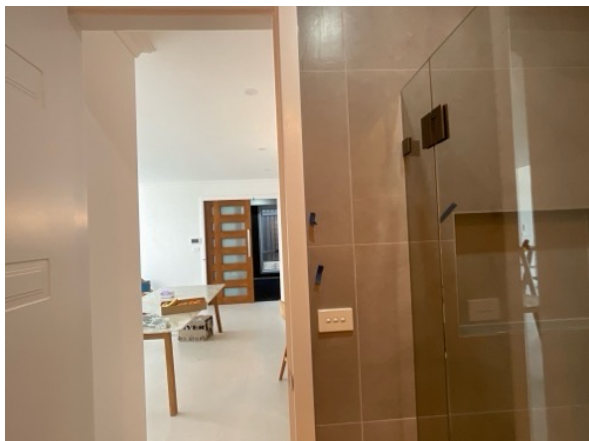
Finding: Shower screen door is not sitting tight
Shower screen door is not sitting tight and will need to be repaired



Incomplete 1.48

Location: WC Lower

Finding: Tile surface to be cleaned
Tile surface to be cleaned to ensure there is no damage



Incomplete 1.49

Location: WC Lower

Finding: Paint touchups required

Minor paint touchups required as tagged on site to restore appearance



Incomplete 1.50

Location: WC Lower

Finding: Sharp corners to the niche

Sharp corners to the niche will need to be repaired to restore appearance and safety



Incomplete 1.51

Location: WC Lower

Finding: Shower rose is loose

Shower rose is loose and will need repair



Incomplete 1.52

Location: WC Lower

Finding: Loose basin

The basin was not securely fixed, presenting looseness which may lead to further displacement or damage. Immediate corrective action is recommended to ensure compliance and to maintain the integrity of the installation.



Incomplete 1.53

Location: WC Lower

Finding: Loose toilet system

Loose toilet system to be secured

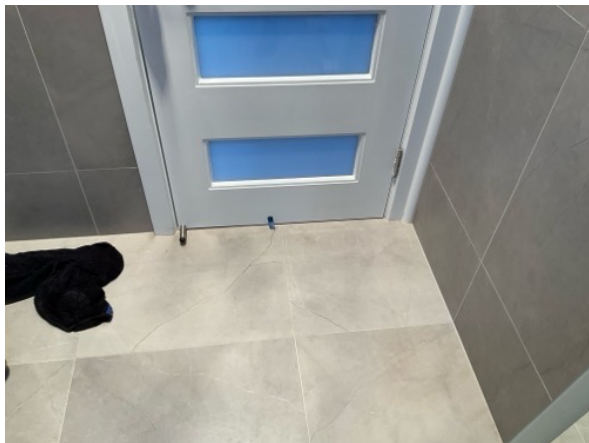


Incomplete 1.54

Location: WC Lower

Finding: Weather/draft seal

Weather seal and/or draft seals are missing or inadequate and will need to be repaired or restored to ensure the integrity and water tightness of the door



Incomplete 1.55

Location: WC Lower

Finding: Sharp corner to the metal angle

Sharp corner to the metal angle will need to be repaired to restore appearance and safety



Incomplete 1.56

Location: WC Lower

Finding: Damaged door jam

Damaged door jam will need repair to restore appearance

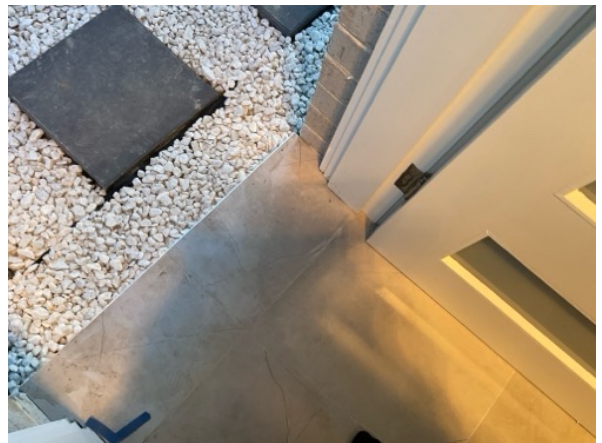
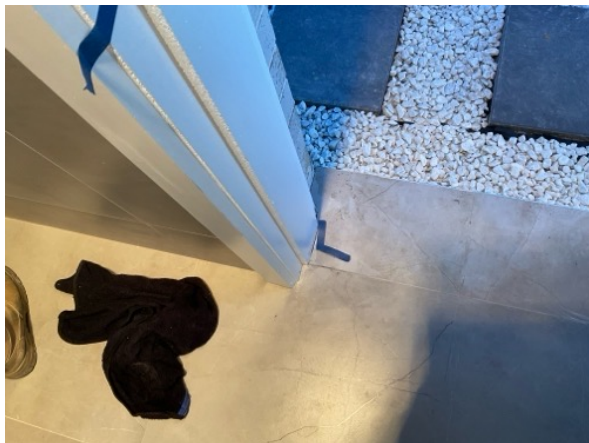


Incomplete 1.57

Location: WC Lower

Finding: Incomplete silicon/grout to the floor

Incomplete silicon to the to floor to be completed to restore appearance



Incomplete 1.58

Location: WC Lower
Finding: Door hinge
Missing screws to the hinges



Incomplete 1.59

Location: WC Lower
Finding: Damaged door
Damaged edge needs repair to restore appearance



Incomplete 1.60

Location: Rumpus
Finding: Door handle will need replacing as it is unable to be easily opened
Door handle will need replacing as it is unable to be easily opened



Incomplete 1.61

Location: Rumpus

Finding: Damaged door

Damaged edge needs repair to restore appearance



Incomplete 1.62

Location: Rumpus

Finding: Paint touchups required

Minor paint touchups required as tagged on site to restore appearance

Incomplete 1.63

Location: Rumpus

Finding: Underside of the architrave to be sealed

Underside of the window architraves to be sealed



Incomplete 1.64

Location: Rumpus

Finding: Window/door frame to be cleaned
Window/door frame to be cleaned to ensure no damage.



Incomplete 1.65

Location: Rumpus

Finding: Window lock is loose
The window lock is loose and will need to be secured.





Incomplete 1.66

Location: Rumpus

Finding: Window frame is missing silicon
Missing silicon between the frame and the reveal



Incomplete 1.67

Location: Dining room

Finding: Underside of the architrave to be sealed
Underside of the window architraves to be sealed



Incomplete 1.68

Location: Dining room

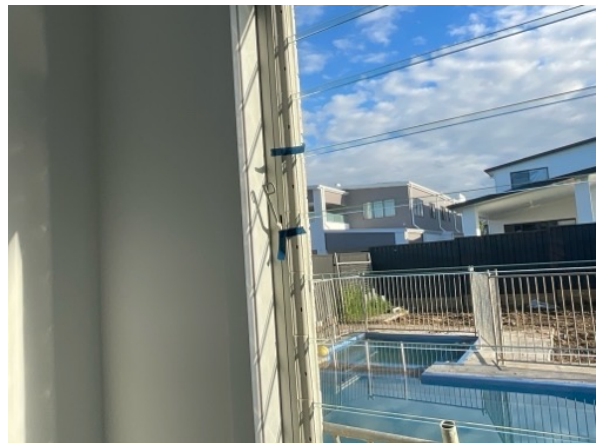
Finding: Window frame is missing silicon
Missing silicon between the frame and the reveal



Incomplete 1.69

Location: Dining room

Finding: Window/door frame to be cleaned
Window/door frame to be cleaned to ensure no damage.



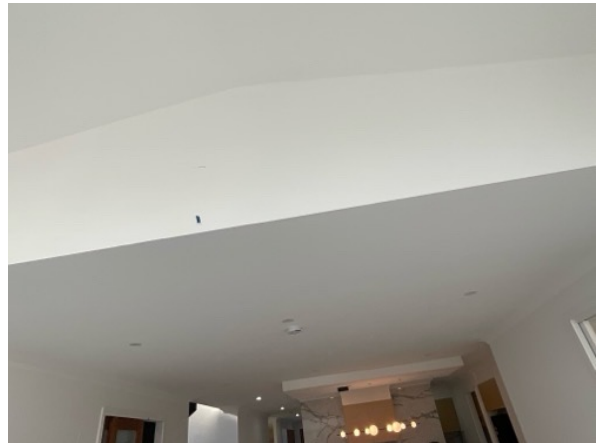


Incomplete 1.70

Location: Dining room

Finding: Paint touchups required

Minor paint touchups required as tagged on site to restore appearance



Incomplete 1.71

Location: Dining room

Finding: Door frame is missing silicon

Missing silicon between the frame and the jam

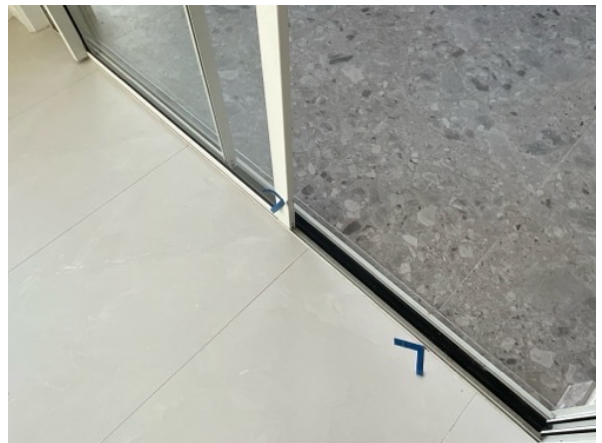


Incomplete 1.72

Location: Dining room

Finding: Damaged door frame

It was observed that the track and door frame have sustained noticeable damage, impacting the overall aesthetic and function.



Incomplete 1.73

Location: Dining room

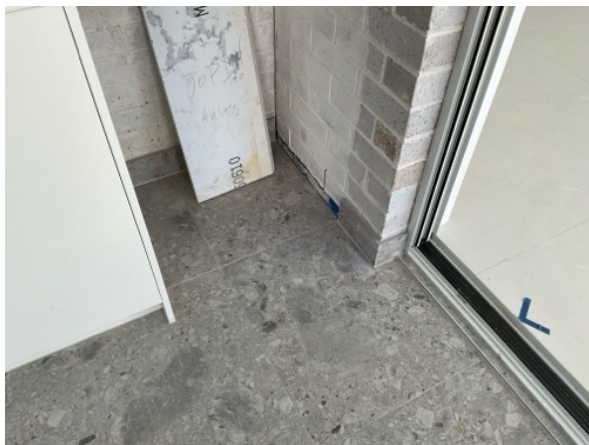
Finding: Poorly finished silicone

Poorly finished silicone will need repair to restore appearance



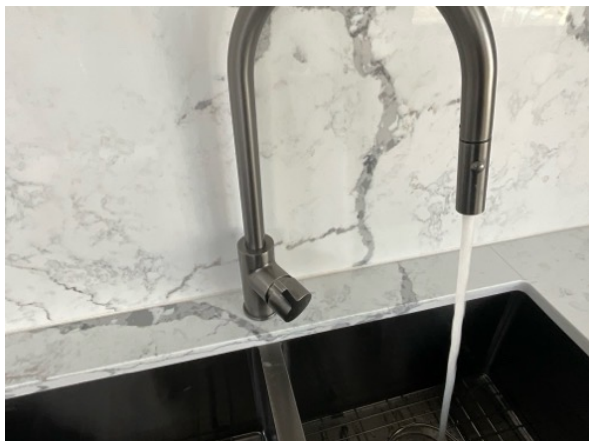
Incomplete 1.74

Location: Alfresco
Finding: Skirting tile
Incomplete skirting tiles



Incomplete 1.75

Location: Alfresco
Finding: Loose tap
Loose tap to be secured



Incomplete 1.76

Location: Alfresco

Finding: Missing or incomplete storm mould to the door/window frame

Missing or incomplete storm mould around the window/door frame will need repair to ensure adequate water tightness and appearance



Incomplete 1.77

Location: Alfresco

Finding: Ceiling patches required

Patches to the ceiling are required to restore appearance

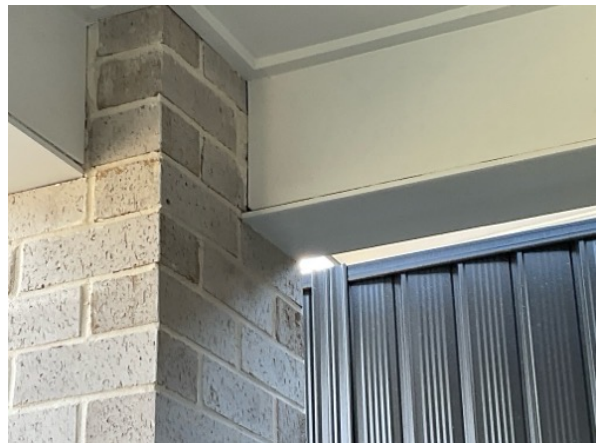


Incomplete 1.78

Location: Alfresco

Finding: Joint patching to the wall/ceiling is required

Joint patches are incomplete and will need finishing to a good standard



Incomplete 1.79

Location: Media

Finding: Window is binding

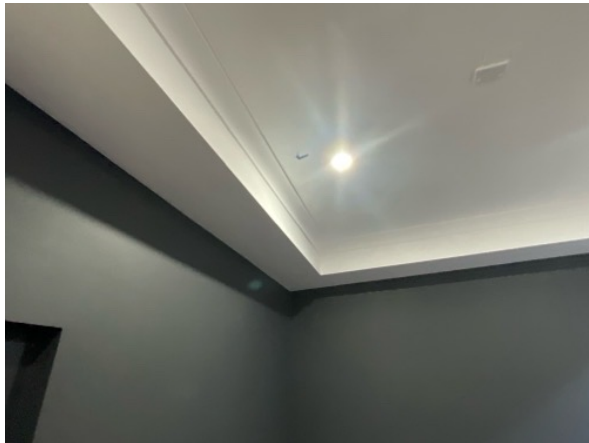
The window is currently binding and will need adjustment and servicing. To resolve this defect, it is recommended that a window servicing is carried out to restore smooth operation of the openable portion of the window.



Incomplete 1.80

Location: Media

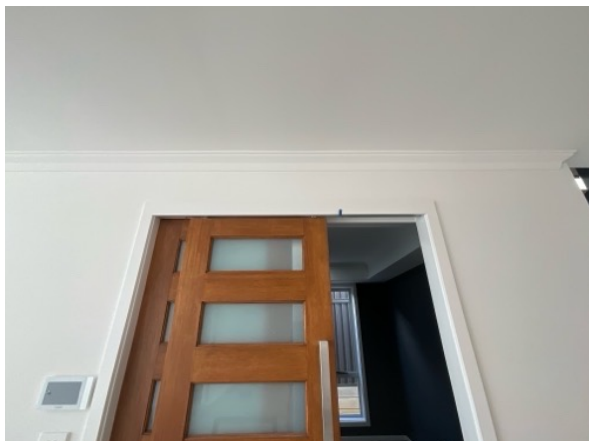
Finding: Popped nail to the wall/ceiling
Popped nail heads to the wall/ceiling to be repaired to restore appearance



Incomplete 1.81

Location: Media

Finding: Pelmet to doors
Missing pelmet to the doors



Incomplete 1.82

Location: Media

Finding: Paint touchups required

Minor paint touchups required to restore appearance



Incomplete 1.83

Location: Bedroom 1

Finding: Door to be installed

Door to be installed



Incomplete 1.84

Location: Bedroom 1

Finding: Robe surfaces to be cleaned
Paint to be cleaned off the robe surfaces



Incomplete 1.85

Location: Bedroom 1

Finding: Window is binding

The window is currently binding and will need adjustment and servicing. To resolve this defect, it is recommended that a window servicing is carried out to restore smooth operation of the openable portion of the window.

Incomplete 1.86

Location:

Bedroom 1

Finding:

Underside of the architrave to be sealed

Underside of the window architraves to be sealed



Incomplete 1.87

Location:

Lower Powder Room

Finding:

Damaged door jam

Damaged door jam will need repair to restore appearance



Incomplete 1.88

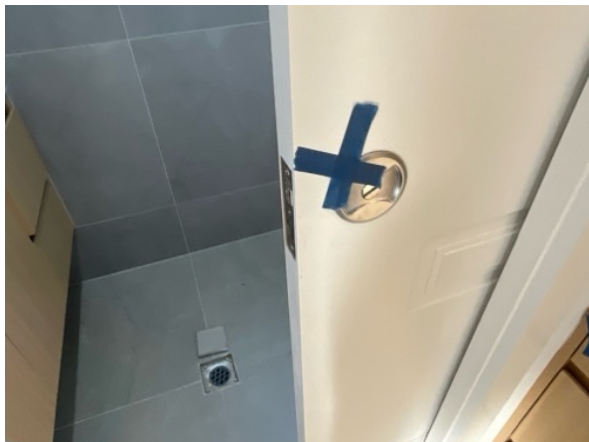
Location:

Lower Powder Room

Finding:

Door handle will need replacing as it is unable to be easily opened

Door handle will need replacing as it is unable to be easily opened



Incomplete 1.89

Location:

Lower Powder Room

Finding: Cabinet doors are binding
Cabinet door are binding and will need adjusting



Incomplete 1.90

Location: Lower Powder Room
Finding: Basin
Incomplete silicon to the base of the basin



Incomplete 1.91

Location: Lower Powder Room
Finding: Slow draining basin

It has been observed that the basin is experiencing slow drainage. This issue suggests a potential blockage or other underlying problem within the plumbing system that requires further investigation. It is important to address this defect promptly to prevent any possible escalation, which could lead to more significant plumbing issues or water damage. A qualified professional should be engaged to thoroughly assess the situation, identify the root cause, and recommend the necessary corrective measures to restore proper drainage functionality.



Incomplete 1.92

Location: Lower Powder Room

Finding: Tile surface to be cleaned
Tile surface to be cleaned to ensure there is no damage



Incomplete 1.93

Location: Lower Powder Room

Finding: Sharp corner to the metal angle
Sharp corner to the metal angle will need to be repaired to restore appearance and safety

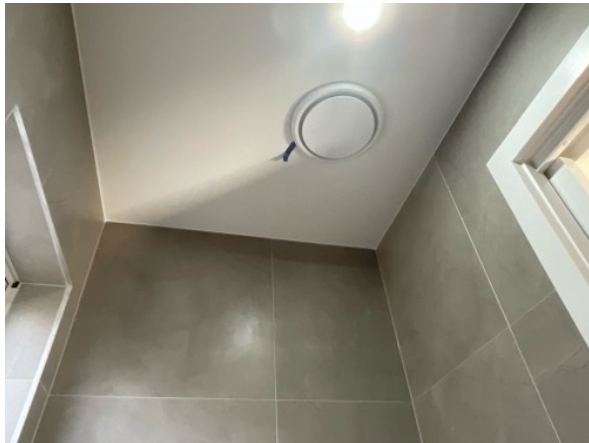




Incomplete 1.94

Location: Lower Powder Room

Finding: Exhaust fan
Exhaust fan is not sitting tight to the ceiling



Incomplete 1.95

Location: Bedroom 5

Finding: Damaged door
Damaged edge needs repair to restore appearance



Incomplete 1.96

Location: Bathroom

Finding: Shower screen door is not sitting tight
Shower screen door is not sitting tight and will need to be repaired



Incomplete 1.97

Location: Bathroom

Finding: Sharp corners to the niche
Sharp corners to the niche will need to be repaired to restore appearance and safety



Incomplete 1.98

Location: Bathroom

Finding: Underside of the vanity benchtop to be sealed
Missing or incomplete silicone to the underside of the vanity benchtop



Incomplete 1.99

Location: Bathroom

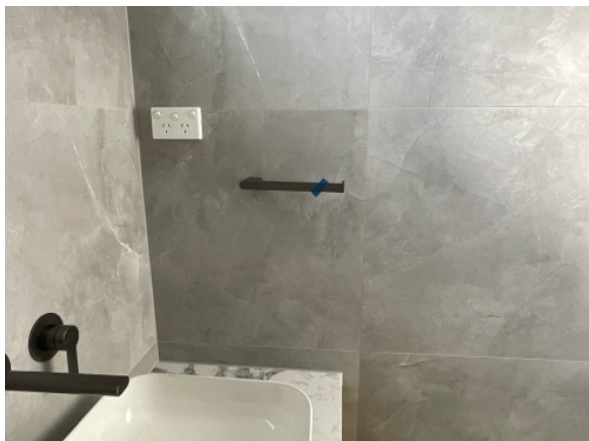
Finding: Basin
Incomplete silicon to the base of the basin



Incomplete 2.00

Location: Bathroom

Finding: Towel rail is loose
Towel rail will need to be secured

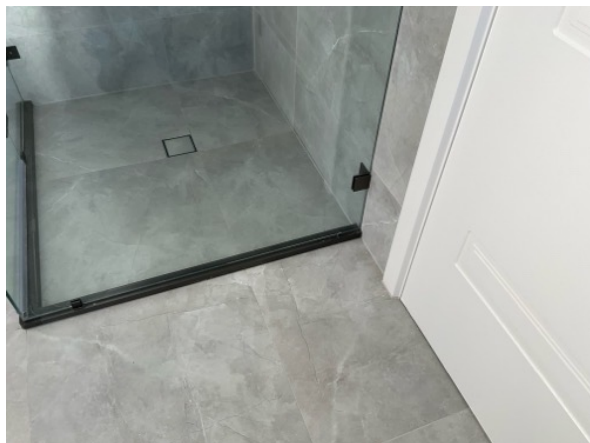


Incomplete 2.01

Location: Bathroom

Finding: Leaking screen

The shower screen exhibits leakage at the base. Water seepage may cause potential damage to surrounding structures and finishes, leading to further deterioration if not addressed promptly. The deficiency indicates inadequate sealing or deterioration of existing seals.

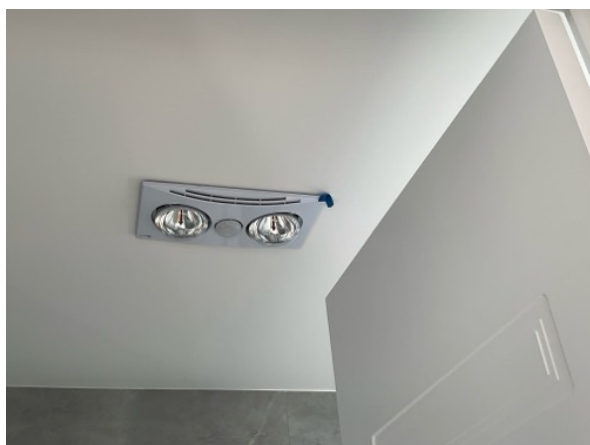


Incomplete 2.02

Location: Bathroom

Finding: Exhaust fan

Exhaust fan is not sitting tight to the ceiling



Incomplete 2.03

Location: Bedroom 4

Finding: Window is binding

The window is currently binding and will need adjustment and servicing. To resolve this defect, it is recommended that a window servicing is carried out to restore smooth operation of the openable portion of the window.



Incomplete 2.04

Location: Bedroom 4

Finding: Underside of the architrave to be sealed
Underside of the window architraves to be sealed



Incomplete 2.05

Location: Bedroom 4

Finding: Damaged reveal
Damaged reveal to be repaired





Incomplete 2.06

Location: Bedroom 4

Finding: Incomplete silicone to the end of the skirting
Incomplete silicone to the end of the skirting



Incomplete 2.07

Location: Bedroom 4

Finding: Mirror surface to be cleaned
Mirror surface to be cleaned to ensure no damage



Incomplete 2.08

Location: Bedroom 4

Finding: Damaged cabinet edge

Damaged cabinet edge will need repair to restore appearance

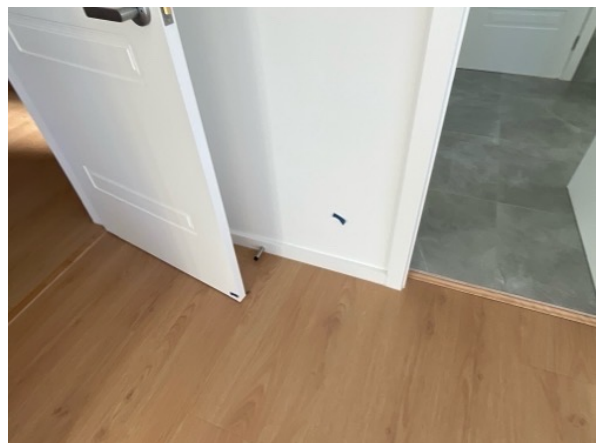
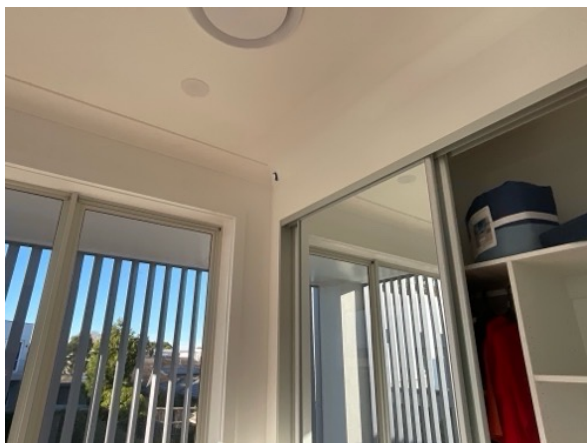


Incomplete 2.09

Location: Bedroom 4

Finding: Paint touchups required

Minor paint touchups required as tagged on site to restore appearance



Incomplete 2.10

Location: Leisure

Finding: Paint touchups required

Minor paint touchups required as tagged on site to restore appearance

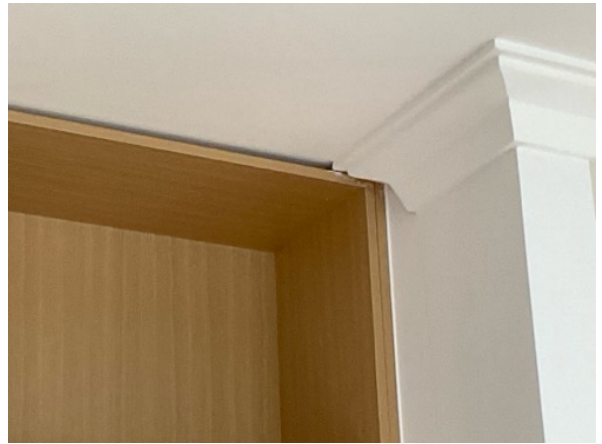
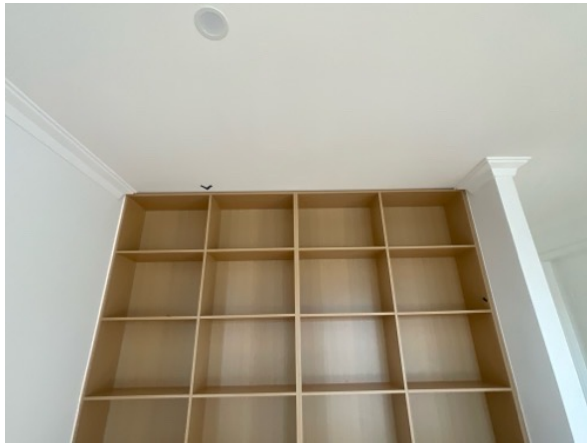


Incomplete 2.11

Location: Leisure

Finding: Incomplete silicon to the cabinet

Incomplete silicon to the cabinet and ceiling junction



Incomplete 2.12

Location: Leisure

Finding: Benchtop has a damaged joint

Damaged benchtop joint will need repair, it is recommended that the benchtop surface be resurfaced/replaced to restore appearance



Incomplete 2.13

Location: Leisure

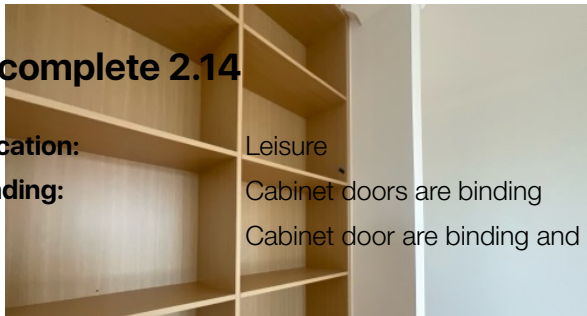
Finding: Missing screw head sticker

Missing screw head sticker cover to be installed

Incomplete 2.14

Location: Leisure

Finding: Cabinet doors are binding
Cabinet door are binding and will need adjusting



Incomplete 2.15

Location: Leisure

Finding: Damaged door frame

It was observed that the track have sustained noticeable damage, impacting the overall aesthetic and function.



Incomplete 2.16

Location: Leisure

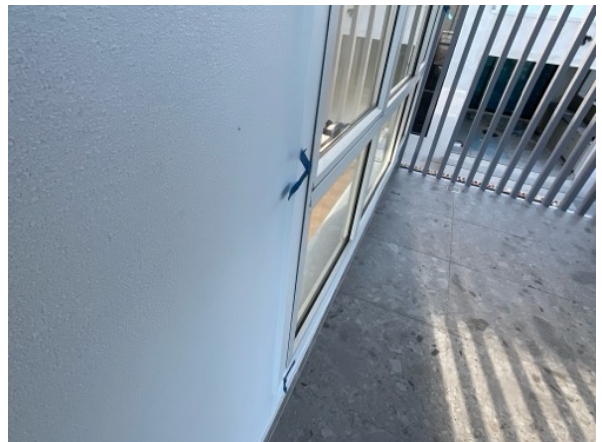
Finding: Window/door frame to be cleaned
Window/door frame to be cleaned to ensure no damage.



Incomplete 2.17

Location: Leisure

Finding: Missing or incomplete silicon to the door/window frame
Missing or incomplete silicone around the window/door frame will need repair to ensure adequate water tightness and appearance

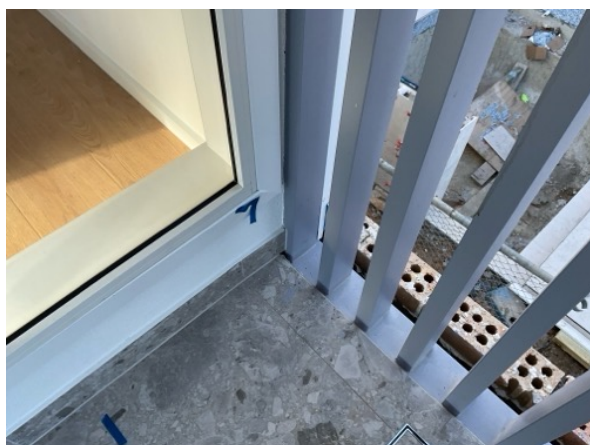


Incomplete 2.18

Location: Leisure

Finding: Architrave joint is poorly finished

Architrave around the window frame is poorly finished and will need repair to restore appearance.

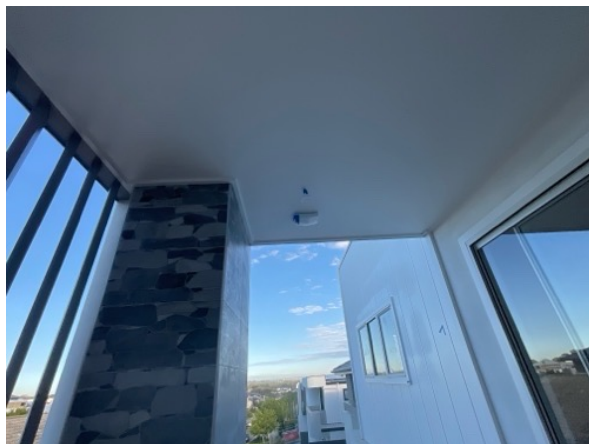
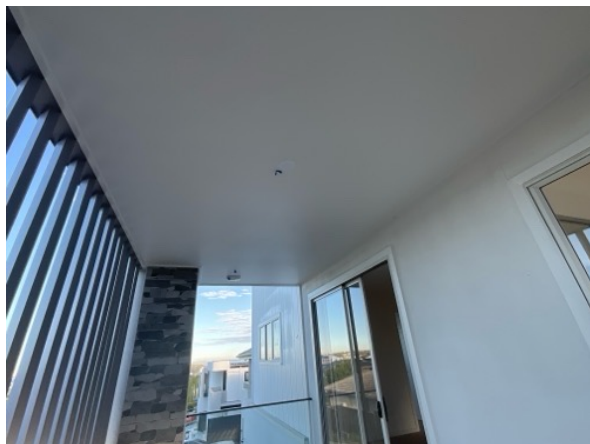


Incomplete 2.19

Location: Leisure

Finding: Ceiling patches required

Patches to the ceiling are required to restore appearance



Incomplete 2.20

Location: Leisure

Finding: Incomplete silicon/grout to the skirting tiles
Incomplete silicon/grout to the skirting tiles



Incomplete 2.21

Location: Bedroom 2

Finding: Window/door glass to be cleaned
Glass to be cleaned to ensure there is no damage

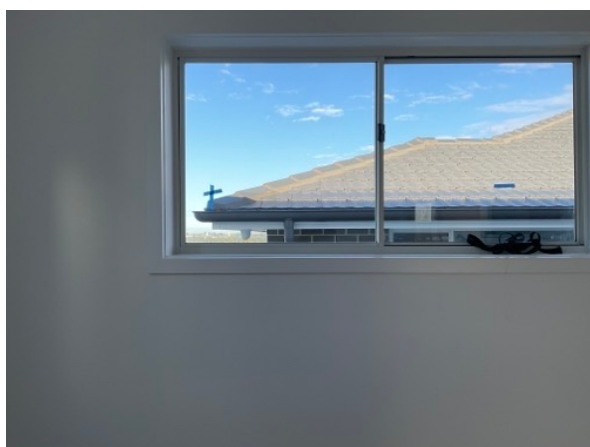


Incomplete 2.22

Location: Bedroom 2

Finding: Window is binding

The window is currently binding and will need adjustment and servicing. To resolve this defect, it is recommended that a window servicing is carried out to restore smooth operation of the openable portion of the window.



Incomplete 2.23

Location: Bedroom 2

Finding: Rubber seal to window

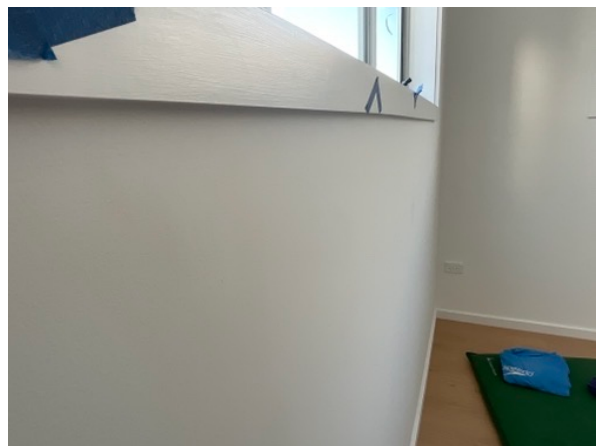
Loose rubber seal to window will need repair to ensure the window is water tight, To resolve this defect, it is recommended that a window servicing is carried out to restore the loose rubber.



Incomplete 2.24

Location: Bedroom 2

Finding: Architrave/moulding to the door/window is bowed
Bottom of the architrave/moulding bowed and will need repair to restore appearance



Incomplete 2.25

Location: Bedroom 3 Including Bathroom

Finding: Window is binding

The window is currently binding and will need adjustment and servicing. To resolve this defect, it is recommended that a window servicing is carried out to restore smooth operation of the

openable portion of the window.

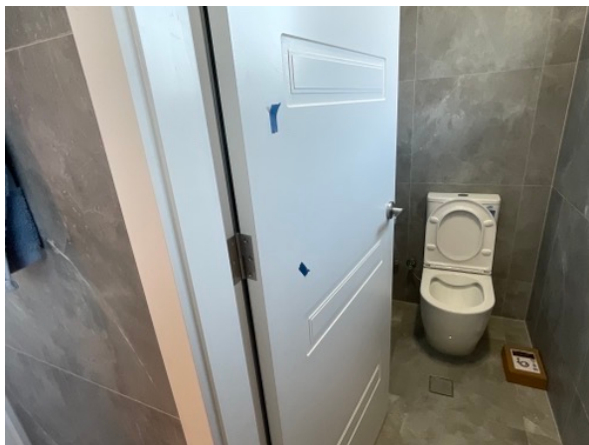
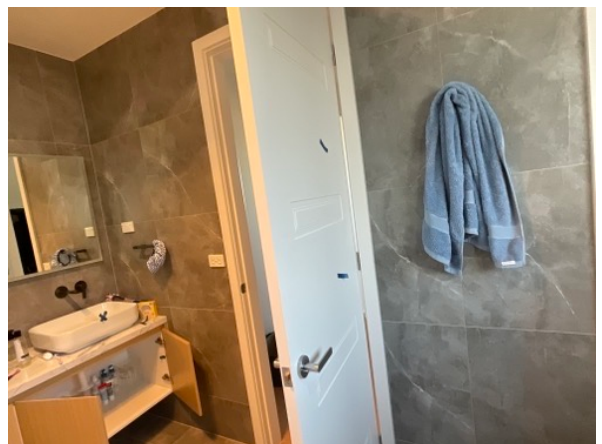
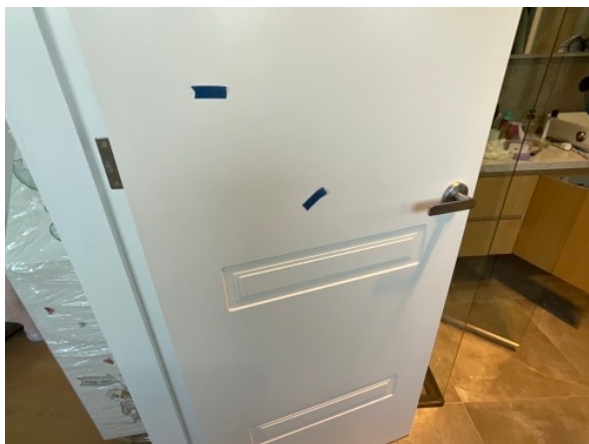


Incomplete 2.26

Location: Bedroom 3 Including Bathroom

Finding: Paint touchups required

Minor paint touchups required as tagged on site to restore appearance



Incomplete 2.27

Location: Bedroom 3 Including Bathroom

Finding: Damaged door
Damaged surface needs repair to restore appearance



Incomplete 2.28

Location: Bedroom 3 Including Bathroom
Finding: Loose flange to the shower rose
Loose flange to the shower rose to be sealed



Incomplete 2.29

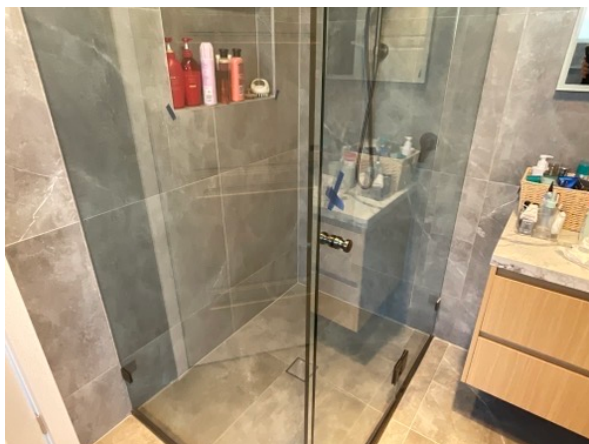
Location: Bedroom 3 Including Bathroom
Finding: Sharp corners to the niche
Sharp corners to the niche will need to be repaired to restore appearance and safety



Incomplete 2.30

Location: Bedroom 3 Including Bathroom

Finding: Shower screen door is not sitting tight
Shower screen door is not sitting tight and will need to be repaired



Incomplete 2.31

Location: Bedroom 3 Including Bathroom

Finding: Missing shelf
Missing shelf to be installed



Incomplete 2.32

Location: Bedroom 3 Including Bathroom

Finding: Basin
Incomplete silicon to the base of the basin



Incomplete 2.33

Location: Bedroom 3 Including Bathroom

Finding: Slow draining basin

It has been observed that the basin is experiencing slow drainage. This issue suggests a potential blockage or other underlying problem within the plumbing system that requires further investigation. It is important to address this defect promptly to prevent any possible escalation, which could lead to more significant plumbing issues or water damage. A qualified professional should be engaged to thoroughly assess the situation, identify the root cause, and recommend the necessary corrective measures to restore proper drainage functionality.



Incomplete 2.34

Location: Bedroom 3 Including Bathroom

Finding: Loose tap
Loose tap to be secured



Incomplete 2.35

Location: Bedroom 3 Including Bathroom

Finding: Loose bath
The bath was not securely fixed, presenting looseness which may lead to further displacement or damage. Immediate corrective action is recommended to ensure compliance and to maintain the integrity of the installation.



Incomplete 2.36

Location: Bedroom 3 Including Bathroom

Finding: Sharp corners to the niche

Sharp corners to the niche will need to be repaired to restore appearance and safety



Incomplete 2.37

Location: Bedroom 3 Including Bathroom

Finding: Damaged grout/silicon

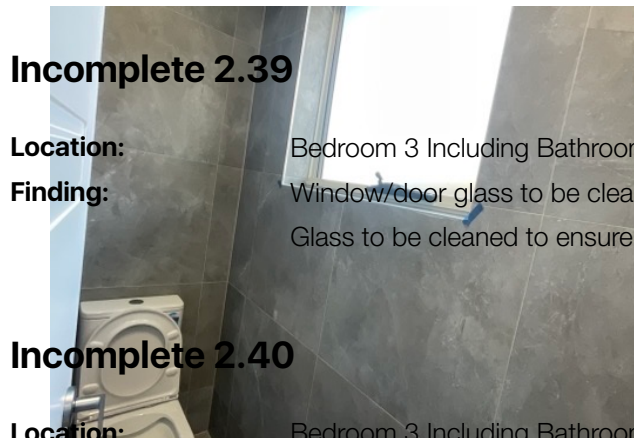
Bath tub exhibits stained and damaged grout/silicon, which may compromise the waterproofing integrity of the area.



Incomplete 2.38

Location: Bedroom 3 Including Bathroom

Finding: Sharp corner to the angles
Sharp corner to the angles will need respir to ensure safety



Incomplete 2.39

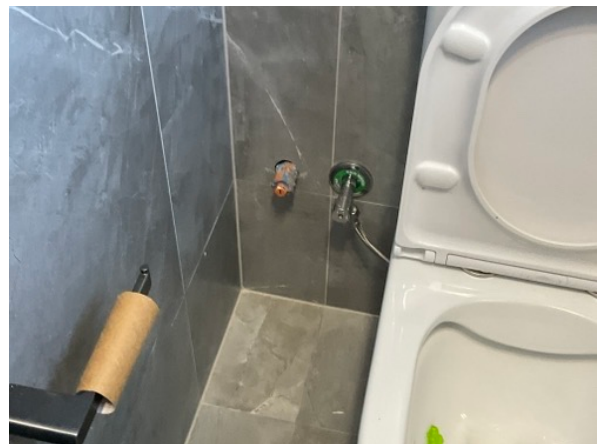
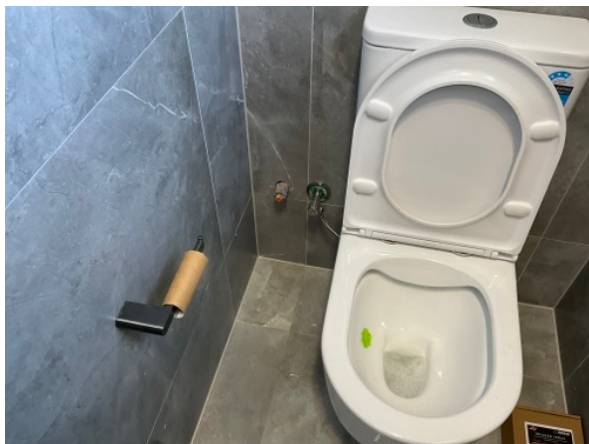
Location: Bedroom 3 Including Bathroom

Finding: Window/door glass to be cleaned
Glass to be cleaned to ensure there is no damage

Incomplete 2.40

Location: Bedroom 3 Including Bathroom

Finding: Missing flange to the tap
Issuing flange to the tap to be installed



Incomplete 2.41

Location: Bedroom 3 Including Bathroom

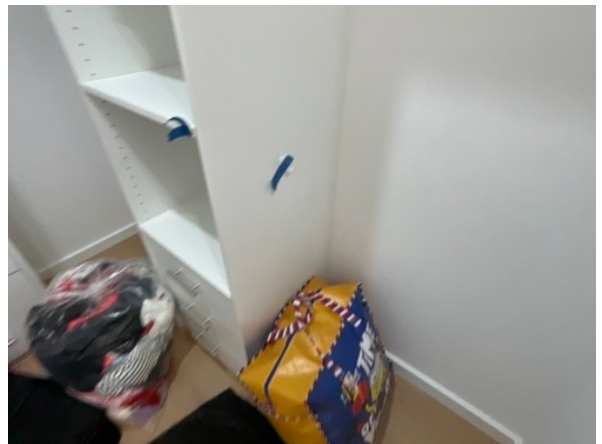
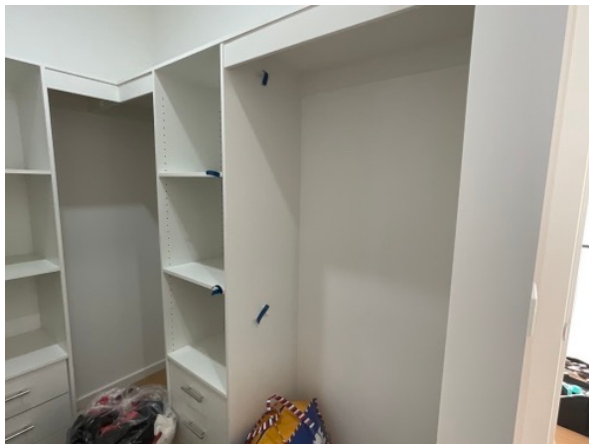
Finding: Floor waste
Floor waste to be cleaned



Incomplete 2.42

Location: Bedroom 3 Including Bathroom

Finding: Hanging rod is missing
Hanging rod to be installed



Incomplete 2.43

Location: Bedroom 3 Including Bathroom

Finding: Cabinet alignment is required
Cabinets are not sitting even with each other and will need to be repositioned



Incomplete 2.44

Location: Bedroom 3 Including Bathroom

Finding: Damaged door
Damaged edge needs repair to restore appearance



Incomplete 2.45

Location: Master bedroom

Finding: Paint touchups required
Minor paint touchups required as tagged on site to restore appearance



Incomplete 2.46

Location: Master bedroom

Finding: Poorly finished quad

Poorly finished quad will need repair to restore appearance

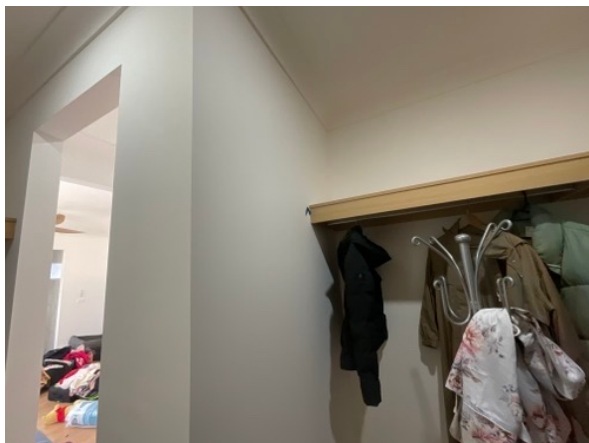


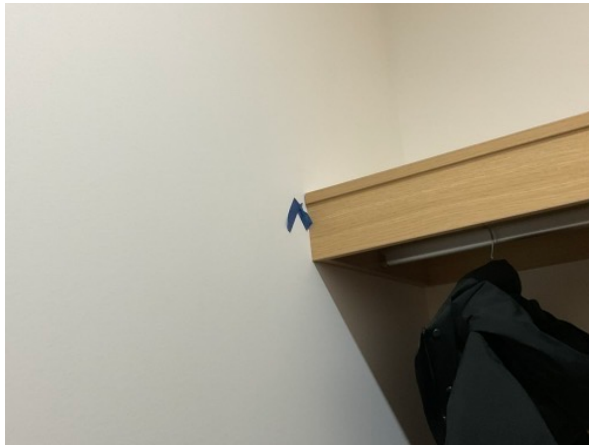
Incomplete 2.47

Location: Master bedroom

Finding: Incomplete silicon to the cabinet

Incomplete silicon to the cabinet and wall junction





Incomplete 2.48

Location: Master bedroom

Finding: Paint touchups required

Minor paint touchups required as tagged on site to restore appearance

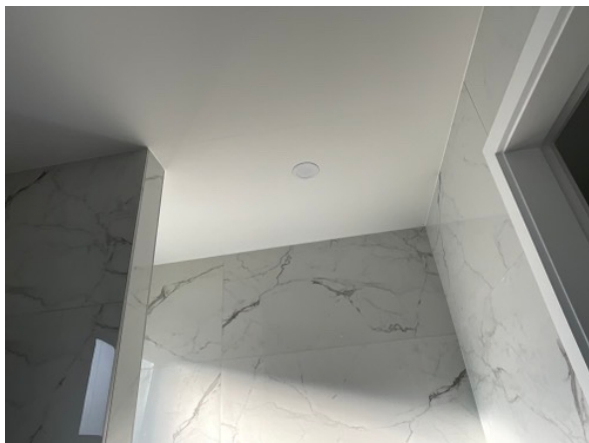


Incomplete 2.49

Location: Ensuite

Finding: Paint touchups required

Minor paint touchups required as tagged on site to restore appearance



Incomplete 2.50

Location: Ensuite

Finding: Toilet roll holder is loose
Toilet roll holder will need to be secured

Incomplete 2.51

Location: Ensuite

Finding: Loose tap
Loose tap to be secured



Incomplete 2.52

Location: Ensuite

Finding: Loose basin
The basin was not securely fixed, presenting looseness which may lead to further displacement or damage. Immediate corrective action is recommended to ensure compliance and to maintain the integrity of the installation.



Incomplete 2.53

Location: Ensuite

Finding: Slow draining basin

It has been observed that the basin is experiencing slow drainage. This issue suggests a potential blockage or other underlying problem within the plumbing system that requires further investigation. It is important to address this defect promptly to prevent any possible escalation, which could lead to more significant plumbing issues or water damage. A qualified professional should be engaged to thoroughly assess the situation, identify the root cause, and recommend the necessary corrective measures to restore proper drainage functionality.



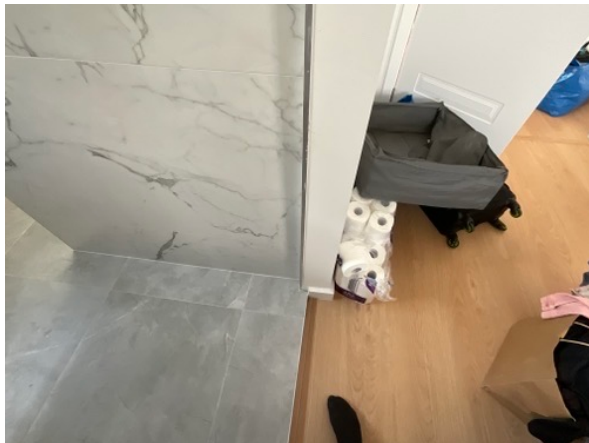
Incomplete 2.54

Location: Stairwell

Finding: Incomplete painting to the treads and rises

Incomplete painting to the treads and rises to be completed



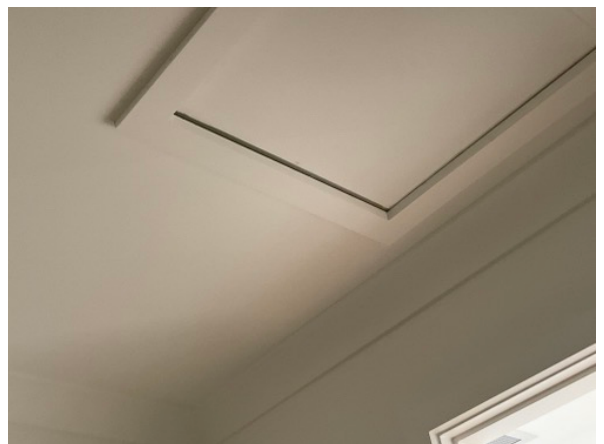
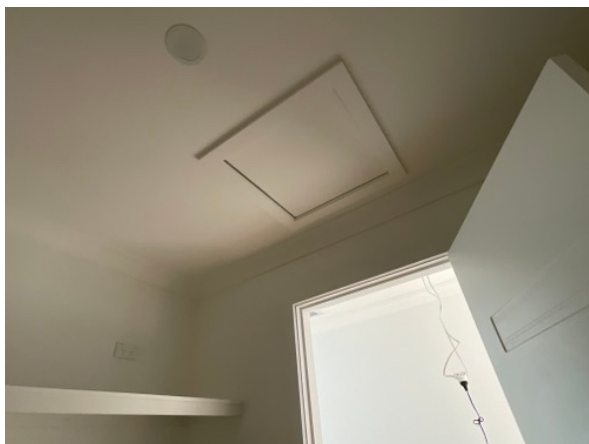
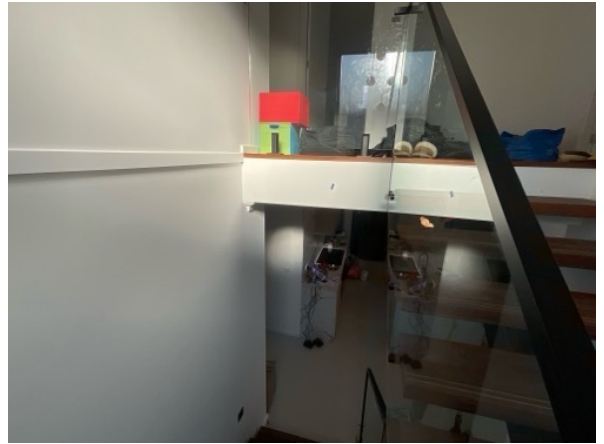


Incomplete 2.55

Location: Stairwell

Finding: Paint touchups required

Minor paint touchups required as tagged on site to restore appearance



Incomplete 2.56

Location: Stairwell

Finding: Window/door glass to be cleaned
Glass to be cleaned to ensure there is no damage



Incomplete 2.57

Location: Stairwell

Finding: Window frame is missing silicon
Missing silicon between the frame and the reveal



Incomplete 2.58

Location: Stairwell

Finding: Wall patching is required
Patches are incomplete and will need finishing to a good standard

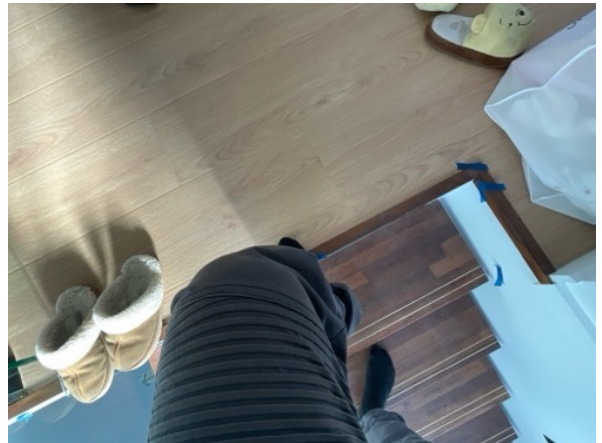
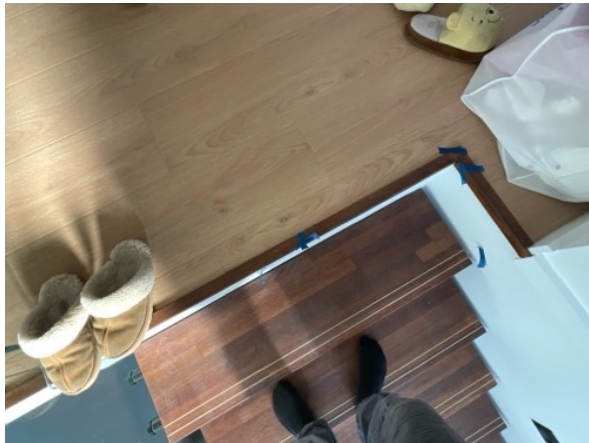


Incomplete 2.59

Location: Stairwell

Finding: Flooring has a squeak

The flooring has a noticeable squeak, that will need repair



Incomplete 2.60

Location: Stairwell

Finding: Poorly fitted floor corner angle

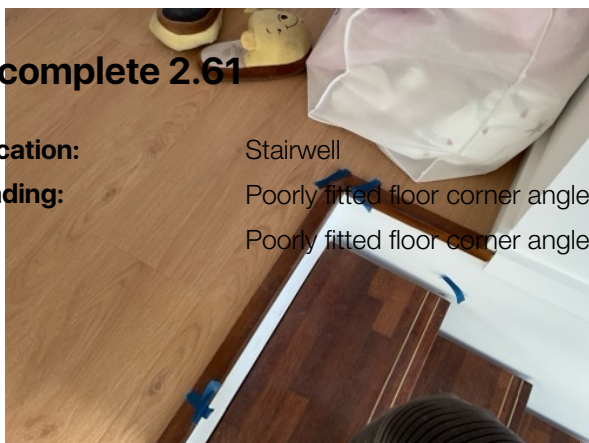
Poorly fitted floor corner angle to be repositioned and secured

Incomplete 2.61

Location: Stairwell

Finding: Poorly fitted floor corner angle

Poorly fitted floor corner angle to be repositioned and secured



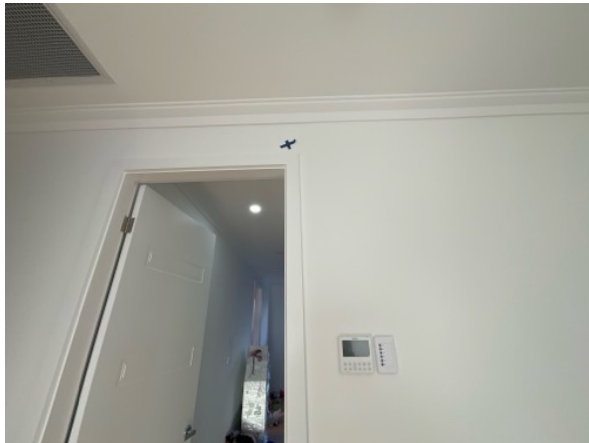


Incomplete 2.62

Location: Stairwell

Finding: Wall cracking

Minor joint cracking to the wall will need repair to restore appearance



Incomplete 2.63

Location: Stairwell

Finding: Air conditioner not tested

The air-conditioning requires a thorough testing period to assess its operational efficiency and functionality, as part of the evaluation process. To address this issue, it is recommended to engage a licensed technician to conduct a comprehensive assessment of the unit over an extended period to confirm its performance and rectify any identified deficiencies.



Incomplete 2.64

Location: Roof exterior

Finding: Roof cladding to be cleaned

During the inspection of the roof exterior, it was observed that building waste, including remnants of construction materials, has accumulated across various sections of the roof surface. This buildup poses a potential obstruction to proper water drainage and could lead to long-term damage if not adequately addressed. It is important to have this waste promptly removed to ensure the integrity and functionality of the roofing system and to prevent any associated damages from occurring over time.



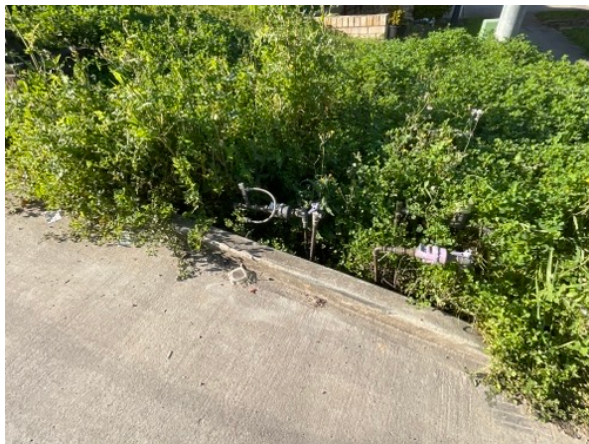


Incomplete 2.65

Location: All External Areas

Finding: Missing recycling water meter

During the inspection, it was observed that a recycling water meter has not been installed in the external areas of the property. The absence of this meter means that there is currently no means to monitor or manage the usage of recycled water efficiently. This omission may lead to challenges in achieving sustainable water usage goals and could potentially result in increased water consumption costs. Installing a recycling water meter is recommended to facilitate effective monitoring and encourage the responsible use of recycled water resources.



Incomplete 2.66

Location: All External Areas

Finding: Damaged render

Damaged render will need repair to restore appearance



Incomplete 2.67

Location: All External Areas

Finding: Capping is not sitting tight to the structure

It has been observed that the capping is sitting off the wall and requires corrective action to ensure it is repositioned tightly against the structure. This detachment, if left unaddressed, could potentially lead to issues such as water ingress or pest entry, compromising the longevity and integrity of the building. To prevent any adverse effects on the property's condition, it is recommended that the capping be properly realigned and secured, ensuring it is firmly fixed to the wall.



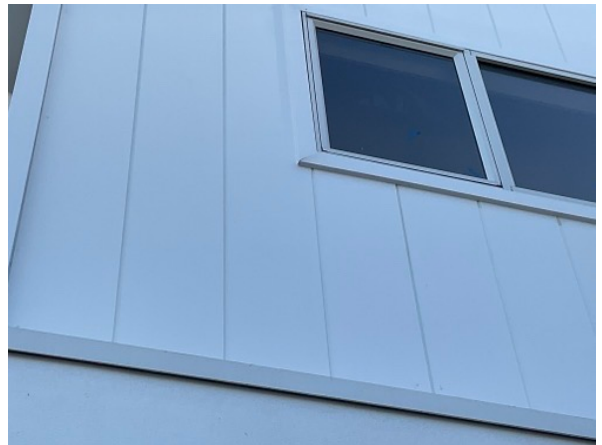


Incomplete 2.68

Location: All External Areas

Finding: Loose moulding

Moulding has become loose to the corner joint that has separated. This will need repair to restore appearance.



Incomplete 2.69

Location: All External Areas

Finding: Loose cladding joint

Loose cladding joint will need to be repaired to ensure water tightness

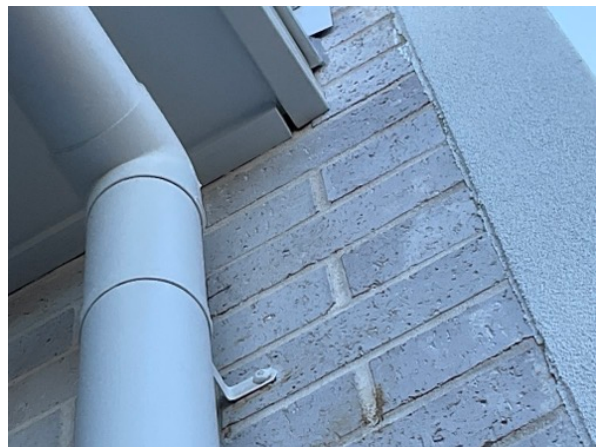


Incomplete 2.70

Location: All External Areas

Finding: Missing or incomplete silicon to the moulding

Missing or incomplete silicone to the moulding will need repair to reduce adequate water tightness and appearance

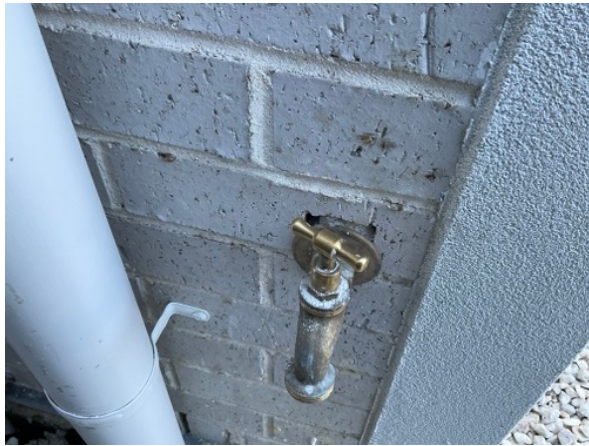


Incomplete 2.71

Location: All External Areas

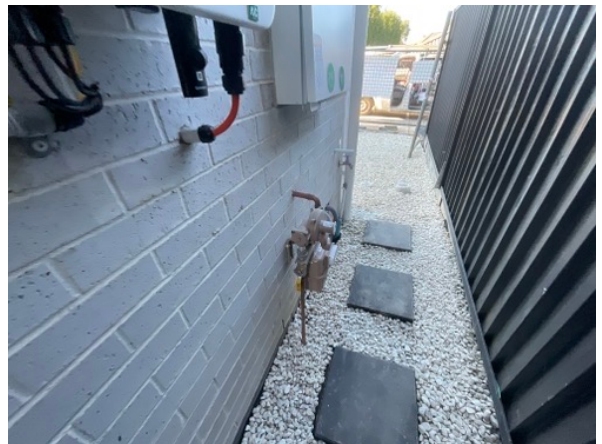
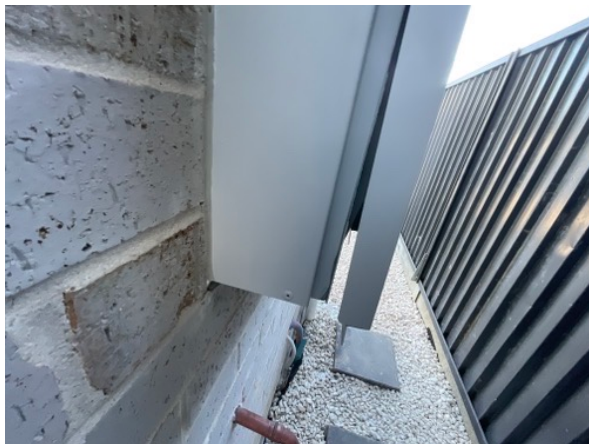
Finding: Pipe penetration

Pipe penetrations will need to be sealed



Incomplete 2.72

Location: All External Areas
Finding: Gas meter
Gas meter not tested



Incomplete 2.73

Location: All External Areas
Finding: Hot Water System cover
Hot Water System cover is missing



Incomplete 2.74

Location: All External Areas

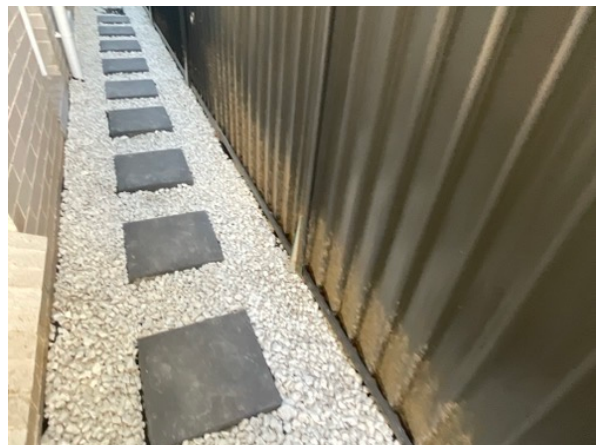
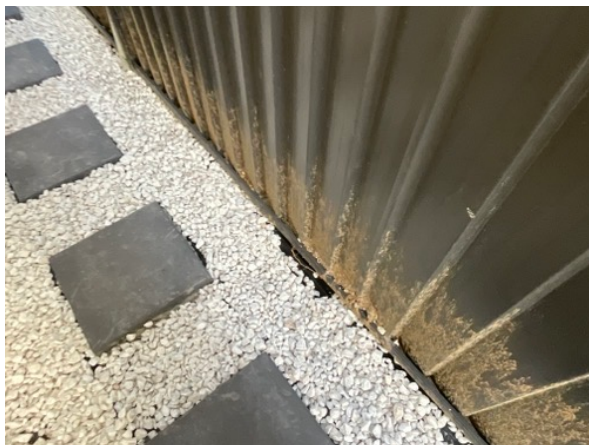
Finding: Solar panels and battery
Solar panels and battery were not tested



Incomplete 2.75

Location: All External Areas

Finding: Cleaning required to the fence
Boundary fence to be cleaned to restore appearance



Incomplete 2.76

Location: All External Areas

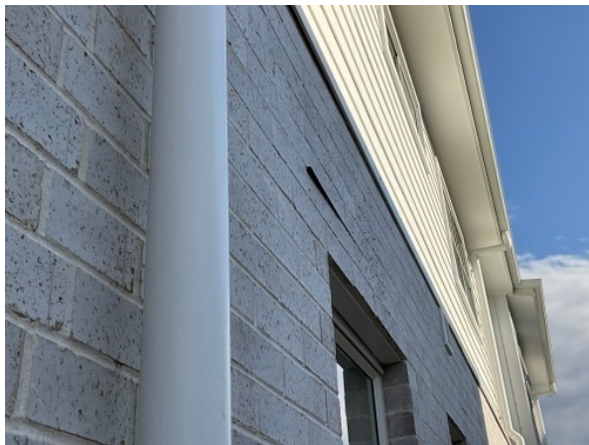
Finding: Pit/grate lid is missing
Pit/grate lid is missing and will need to be installed.



Incomplete 2.77

Location: All External Areas

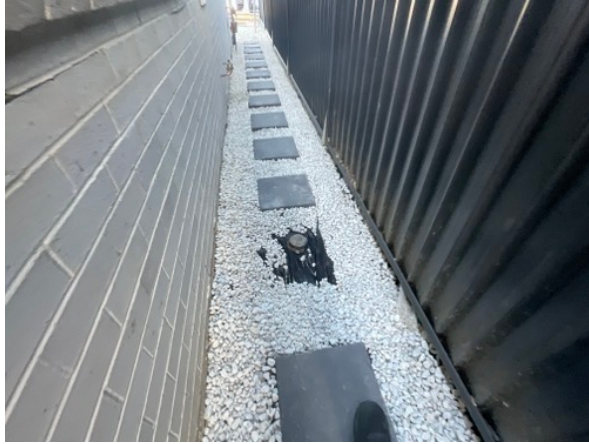
Finding: DPC to be trimmed
DPC to be trimmed back and made uniform



Incomplete 2.78

Location: All External Areas

Finding: Pit/grate lid is missing
Pit/grate lid is missing and will need to be installed.



Incomplete 2.79

Location: All External Areas

Finding: Damaged window flashing
Damaged window flashing will need to be repaired to restore appearance.



Incomplete 2.80

Location: All External Areas

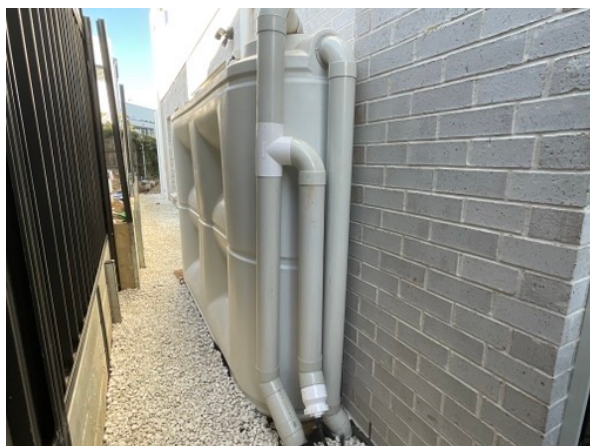
Finding: Air conditioner not tested

The air-conditioning requires a thorough testing period to assess its operational efficiency and functionality, as part of the evaluation process. To address this issue, it is recommended to engage a licensed technician to conduct a comprehensive assessment of the unit over an extended period to confirm its performance and rectify any identified deficiencies.

Incomplete 2.81

Location: All External Areas

Finding: Water tank



Incomplete 2.82

Location: All External Areas

Finding: Brick surface

Brick surfaces to be cleaned throughout the development



Incomplete 2.83

Location: All External Areas

Finding: Damaged capping/flashing

Damaged capping/flashing will need to be repaired to restore appearance.



Incomplete 2.84

Location: All External Areas

Finding: Loose cladding joint

Loose cladding joint will need to be repaired to ensure water tightness



Incomplete 2.85

Location: All External Areas

Finding: DPC to be trimmed

DPC to be trimmed back and made uniformed



Incomplete 2.86

Location: All External Areas

Finding: Capping is not sitting tight to the structure

It has been observed that the capping is sitting off the wall and requires corrective action to ensure it is repositioned tightly against the structure. This detachment, if left unaddressed, could potentially lead to issues such as water ingress or pest entry, compromising the longevity and integrity of the building. To prevent any adverse effects on the property's condition, it is recommended that the capping be properly realigned and secured, ensuring it is firmly fixed to the wall.



Incomplete 2.87

Location: All External Areas

Finding: Screw head surface to be cleaned

Screw heads exhibits notable rust stains, which should be addressed to prevent potential damage. Cleaning the stains is necessary to maintain the integrity and appearance of the fixture.

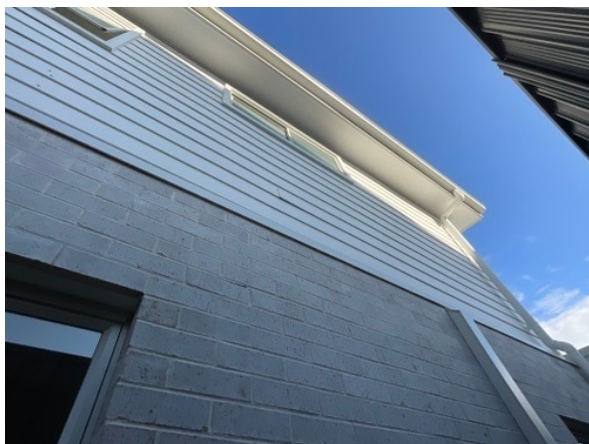


Incomplete 2.88

Location: All External Areas

Finding: Loose cladding joint

Loose cladding joint will need to be repaired to ensure water tightness

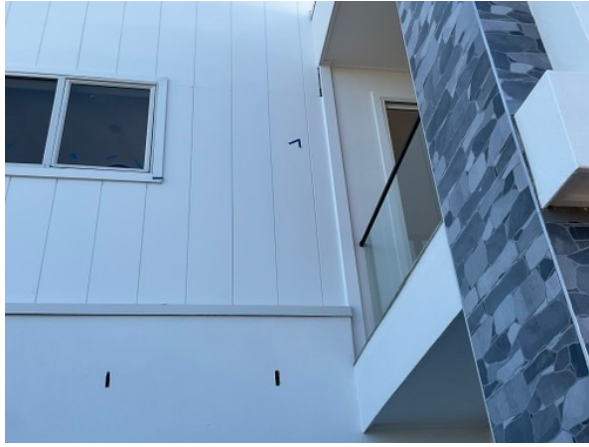


Incomplete 2.89

Location: All External Areas

Finding: Damaged/incomplete cladding

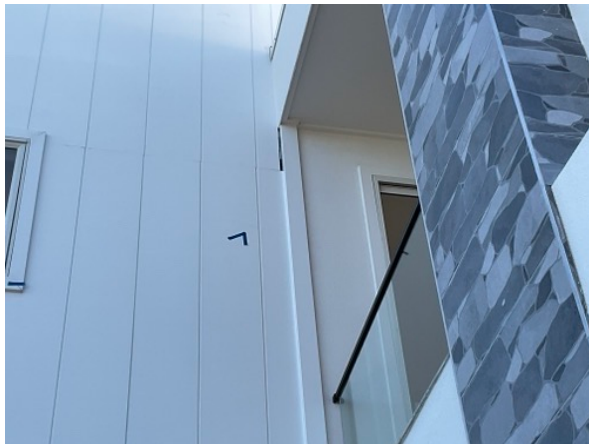
Damaged/incomplete cladding will need repair to prevent the ingress of moisture and the deterioration it can cause.



Incomplete 2.90

Location: All External Areas

Finding: Missing or incomplete silicon to the end of the cladding
Missing or incomplete silicone to the end of the cladding will need repair to reduce adequate water tightness and appearance



Incomplete 2.91

Location: All External Areas

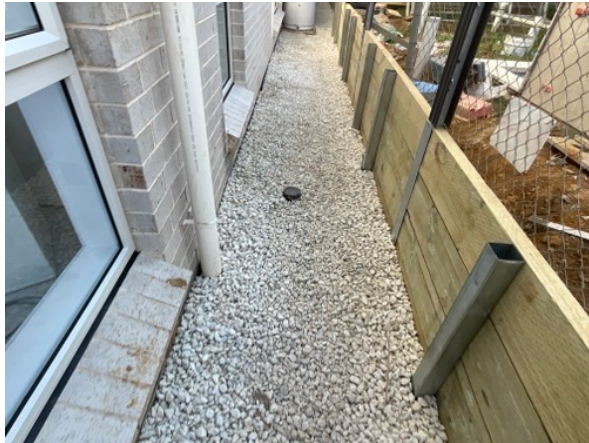
Finding: Render is incomplete
Incomplete render will need repair to restore appearance



Incomplete 2.92

Location: All External Areas

Finding: Pit/grate lid is missing
Pit/grate lid is missing and will need to be installed.



Incomplete 2.93

Location: All External Areas

Finding: Paint touchups required
Minor paint touchups to the moulding is required to restore appearance

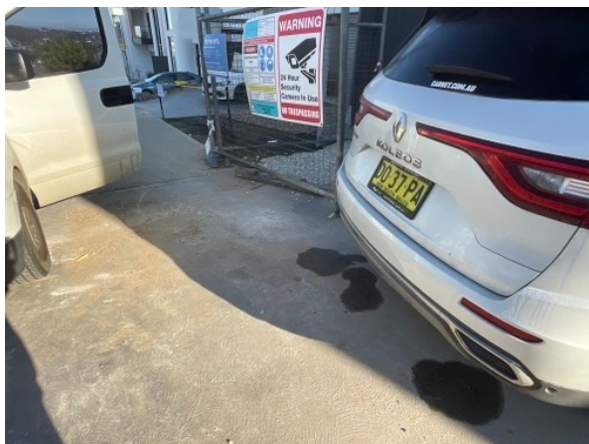


Incomplete 2.94

Location: All External Areas

Finding: Incomplete landscaping

The landscaping in all external areas of the property remains incomplete, impacting the overall aesthetic and functionality of the space. Several areas lack the necessary turf, and there is an absence of designated garden beds, which were originally outlined in the project's landscaping plan. Additionally, the irrigation system installation is unfinished, leaving certain sections prone to inadequate watering and potential plant stress. Addressing these issues promptly is essential to ensure the landscape environment matures as intended and enhances the property's curb appeal.



Incomplete 2.95

Location: All External Areas
Finding: Fibro eaves
Hole to the eaves to be patched.



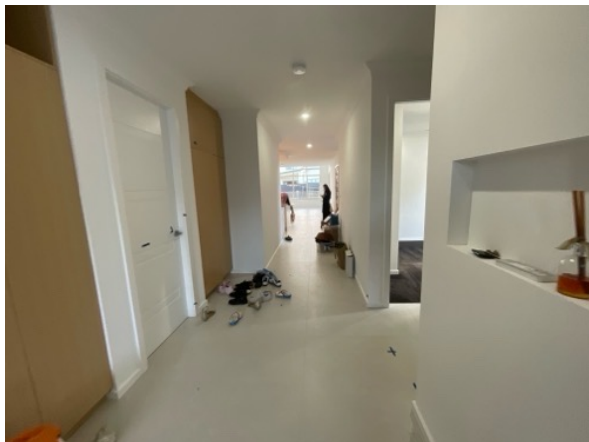
Additional comments

There are no additional comments

For Your Information

For Your Information 3.01

Location: Piano Room And Entry
Finding:





For Your Information 3.02

Location: Garage

Finding:



For Your Information 3.03

Location: Kitchen

Finding:



For Your Information 3.04

Location: Laundry

Finding:



For Your Information 3.05

Location: WC Lower

Finding:



For Your Information 3.06

Location: Rumpus

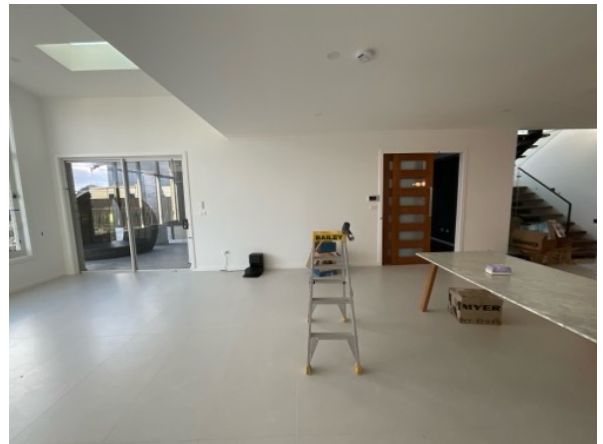
Finding:



For Your Information 3.07

Location: Dining room

Finding:



For Your Information 3.08

Location: Alfresco

Finding:



For Your Information 3.09

Location: Media

Finding:



For Your Information 3.10

Location: Bedroom 1

Finding:



For Your Information 3.11

Location: Lower Powder Room

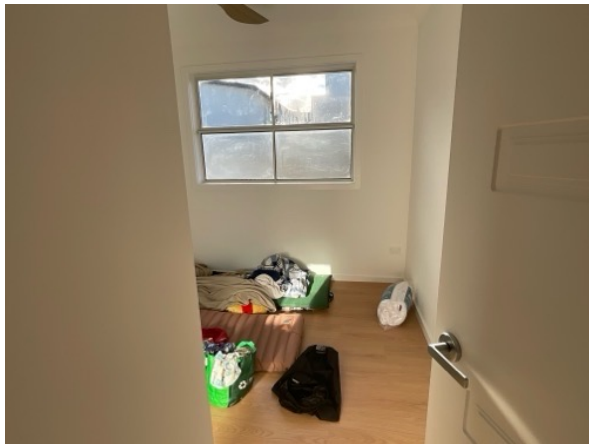
Finding:



For Your Information 3.12

Location: Bedroom 5

Finding:



For Your Information 3.13

Location: Bathroom

Finding:



For Your Information 3.14

Location: Bedroom 4

Finding:



For Your Information 3.15

Location: Leisure

Finding:



For Your Information 3.16

Location: Bedroom 2

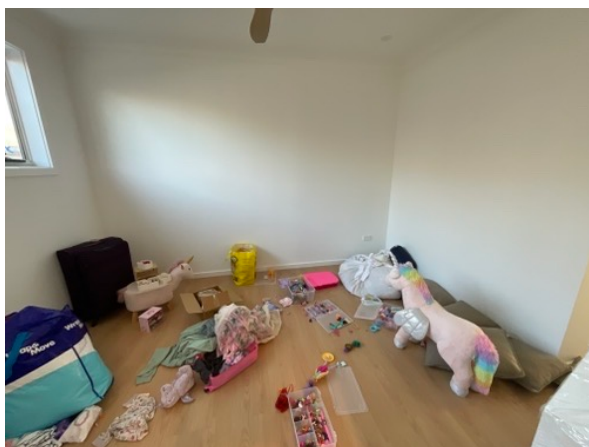
Finding:



For Your Information 3.17

Location: Bedroom 3 Including Bathroom

Finding:



For Your Information 3.18

Location: Bedroom 3 Including Bathroom

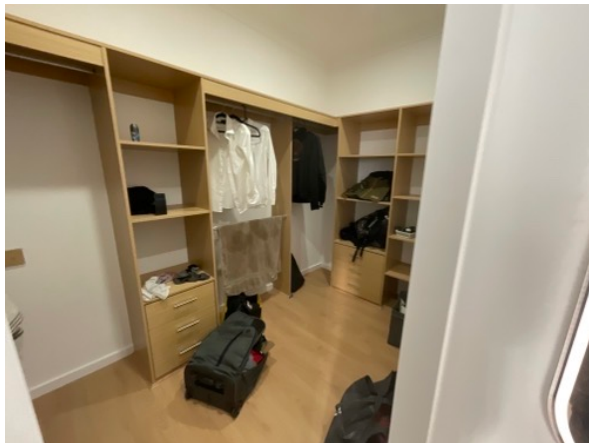
Finding: Towel rail is loose
Towel rail will need to be secured



For Your Information 3.19

Location: Master bedroom

Finding:



For Your Information 3.20

Location: Ensuite

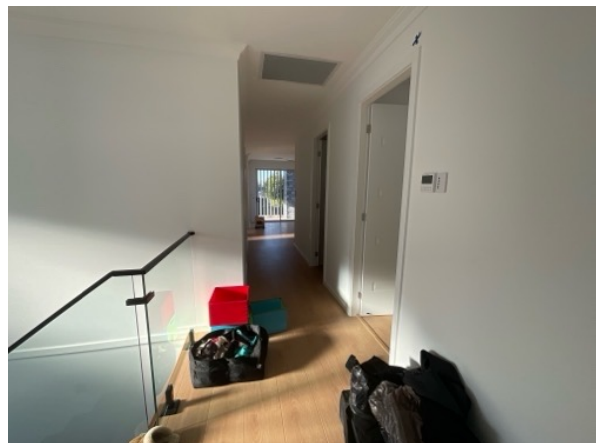
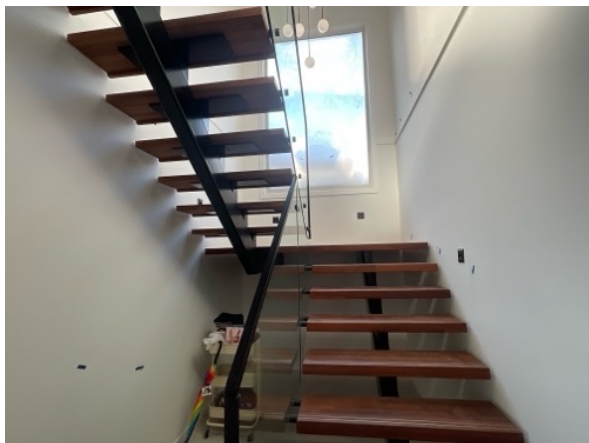
Finding:



For Your Information 3.21

Location: Stairwell

Finding:



For Your Information 3.22

Location: Stairwell

Finding:



For Your Information 3.23

Location: Roof exterior

Finding:





For Your Information 3.24

Location: Roofspace

Finding:



Conclusion

Building consultant's summary

The recent assessment of a residential construction project highlights several key areas requiring immediate attention to ensure the completion and long-term integrity of the home. Critical issues identified include incomplete painting in visible areas such as the Piano Room and Entry, affecting the aesthetic and durability of surfaces. Functional concerns are noted with malfunctioning electronic locks and loose fixtures like taps, basins, and shower roses, which pose security and operational challenges. Structural deficits include gaps between the timber screen and the wall, misaligned cabinet doors, and incomplete window seals, compromising both appearance and structural integrity. A notable deficiency is the accumulation of building waste on the roof, which could impede water drainage and lead to significant damage over time. The absence of a recycling water meter and incomplete landscaping further impact the property's sustainability and visual appeal. Immediate rectification is recommended for these defects, including alignment of the cladding and securing loose mouldings, to prevent future complications and uphold the quality of the construction. Comprehensive testing of untested systems, like the air conditioning and solar panels, is also critical to ensure

efficient operation, contributing to the overall functionality and sustainability of the home.

Signature of consultant -



Terms on which this report was prepared

Service

1. This agreement is between the building consultant ("Inspector") and you ("Client"). You have requested the Inspector to carry out an inspection of your property for the purpose of preparing a Standard Property Report ("Report") to you outlining their findings and recommendation from the inspection.
2. The purpose of the inspection is to provide the Client with an overview of the Inspector's findings at the time of the inspection and advice as to the nature and extent of their findings.
3. This Report has been prepared at the direction of and exclusively for the Client. Details contained within this Report are tailored to the Pre-Inspection Agreement between the Inspector and the Client at the time of the Inspection and no other party can rely on the Report nor is the Report intended for any other party.

Scope of the Report

4. This Report is limited to the findings of the of the Inspector at the time of the inspection and any condition of the property which is not within the scope as set out herein or which occurs after the inspection is expressly excluded from this Report.
5. This Report expressly addresses only the following discernible to the Inspector at the time of inspection:
 - (a) Major Defects in the condition of Primary Elements including Structural Damage and Conditions Conducive to Structural Damage;
 - (b) any Major Defect in the condition of Secondary Elements and Finishing Elements and collective (but not individual) Minor Defects; and
 - (c) any Serious Safety Hazard.
6. This Report is limited to the observations and conclusions of the Inspector that were readily observable at the building or site and given the state of property at the time of the Inspection.
7. This Report does not include the inspection and assessment of items or matters that are beyond the Inspectors direct expertise.

Inspection Limitations

8. The Inspection is limited to Readily Accessible Areas of the Building & Site based on the Inspector's visual examination of surface work (excluding furniture and stored items) and the carrying out of Tests.
9. Where the Inspection is carried out on a strata or company title property, the Inspection is limited to the interior and the immediate exterior of the residence inspected. The Inspection does not extend to common property areas and the Inspector will not inspect common property areas.
10. The Inspector's findings do not extend to matters where the Inspector was restricted or prevented from assessing the building or site as a result of:
 - (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint;
 - (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of

(b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out; and

(c) areas of the building or site that were obstructed at the time of the inspection or not Readily Accessible Areas of the Building Site. An obstruction may include a condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.

Exclusions

11. This Report does not consider or deal with the following:

- (a) any individual Minor Defect;
- (b) solving or providing costs for any rectification or repair work;
- (c) the structural design or adequacy of any element of construction;
- (d) detection of wood destroying insects such as termites and wood borers;
- (e) the operation of fireplaces and chimneys;
- (f) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (g) lighting or energy efficiency;
- (h) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (i) any appliances or white goods including dishwashers, refrigerators, ovens, stoves and ducted vacuum systems;
- (j) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (k) a review of environmental or health or biological risks such as toxic mould;
- (l) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (m) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; and
- (n) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

12. Should the Client seek information from the Inspector related to one of exclusions above, that information is to be provided by way of a Special-Purpose Inspection Report which is adequately specified and must be undertaken by an appropriately qualified inspector. Additional information requested by the Client is not included in this Report.

Workplace Safety

13. The Client warrants to the Inspector (including the Inspector's, agents, employees and other personnel) that the Building Site is, to the Client's reasonable knowledge, safe and free of hazardous materials and that no party of the Building site constitutes a dangerous environment or work place safety concern.

Acceptance Criteria

14. The Inspector may compare the building being inspected with a similar building, unless specified otherwise in the Special Conditions or Instructions. The similar building which the Inspector may compare the current building to was, to the best of the Inspector's knowledge, constructed in accordance with ordinary building construction and maintenance practices at the time of construction and as such has not encountered significant loss or of strength or serviceability.

15. The Inspector assumes in their Report that the existing use of the building or site will continue unless specified otherwise in the Special Conditions or Instructions.

Acknowledgments

16. The Client Acknowledges that contents of the Report is subject to the Scope of the Report, Inspection Limitations, Exclusions and Acceptance Criteria. This Report does not include recommendations or advice about matters outside the scope of the requested inspection.

17. Should the Client have any queries or concerns about the purposes, scope or acceptance criteria on which this Report was prepared, all enquiries or concerns are to be discussed with the Inspector within a reasonable time upon receipt of this report.

18. The Client acknowledges that they will take all reasonable steps to implement any recommendation or advice provided by the Inspector in their Report as a matter of urgency specified otherwise.

18. The Client acknowledges that they will take all reasonable steps to implement any recommendation or advice provided by the Inspector in their Report as a matter of urgency specified otherwise.

19. Any further discussions the Inspector following the production of this Report addressing concerns will not be reflected in this Report and as such the Report may not contain all advice or information related to the building or site provided by the Inspector.

20. The Client acknowledges that a visual only inspection restricts the Inspectors capacity to inspect the building or site thoroughly and is not recommended by the Inspector unless an inspection of the Readily Accessible Areas and appropriate tests are also carried out.

21. The Client Acknowledges that in accordance with the Australian Standard AS4349.0 2007 Inspection of Buildings, this Report does not warrant or give insurance that the building or site from developing issues following the date of inspection.

22. The Client acknowledges that the Inspector is not affiliated with Hello Inspections Pty Ltd ACN 620 518 238 ("Hello Inspections") nor is Hello Inspections liable for the content of the Report prepared by the Inspector or any other third party and the Client hereby indemnifies Hello Inspections from all claims, losses and damage arising, either directly or indirectly, from the Report and the Client accepts this document can be presented to a court as a complete bar to any proceedings by the client or its agents or related parties against Hello Inspections. The Client further acknowledges the Inspector is the agent for Hello Inspections solely for the purposes of this clause.

23. The Client acknowledges that Hello Inspections may reproduce the content within this Report for any commercial purpose, including sale of the Report in whole or in part to third parties, provided personal details or information of the Client contained therein are excluded.